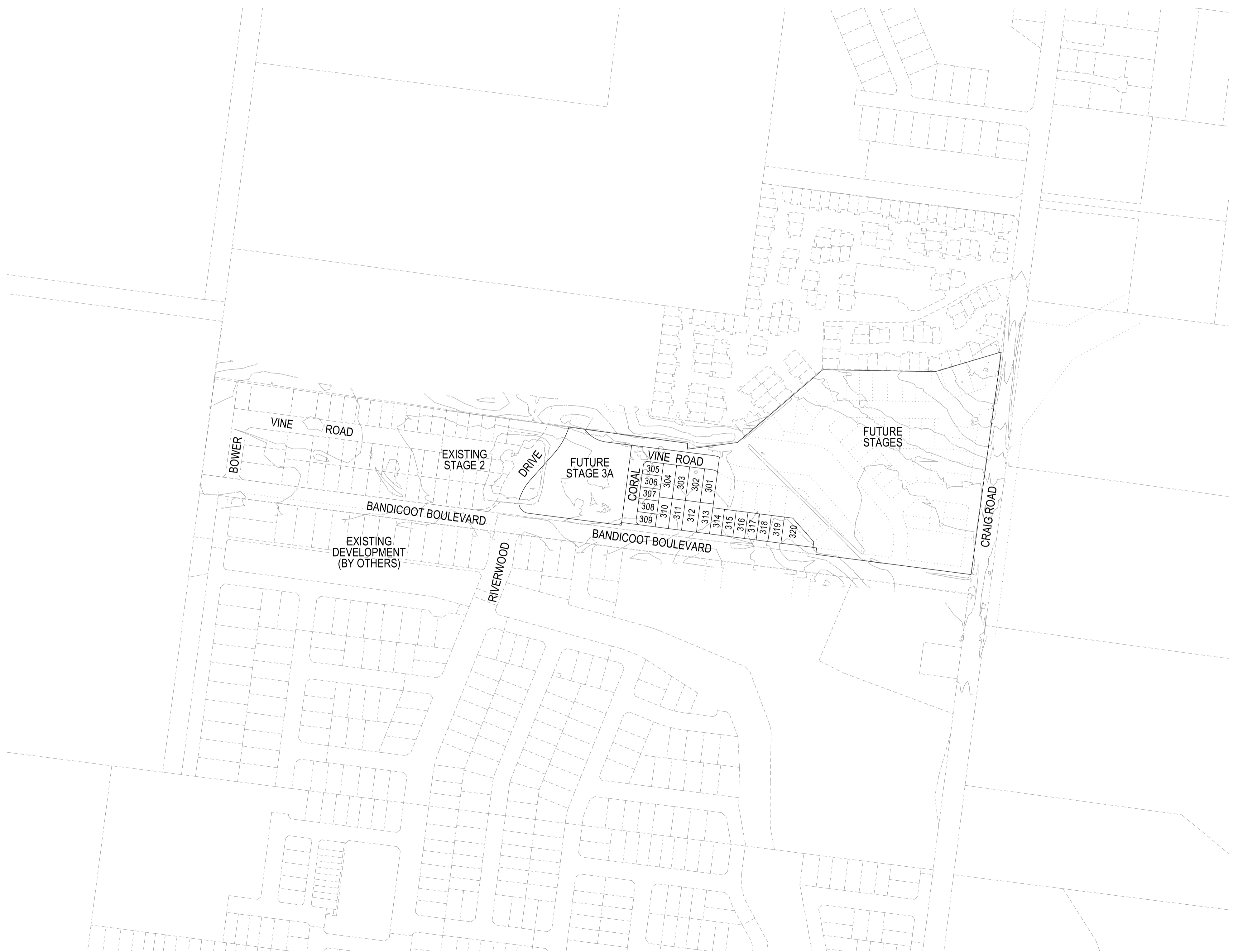


No. 3 JUNCTION VILLAGE PTY LTD  
THE JUNCTION- STAGE 3  
45 CRAIG ROAD, JUNCTION VILLAGE  
CITY OF CASEY

SHEET INDEX

- 1. LOCALITY PLAN
- 2. CONSTRUCTION NOTES
- 3. TYPICAL CROSS SECTIONS
- 4. ENGINEERING DETAIL PLAN & SERVICE OFFSET TABLE
- 5. INTERSECTION DETAILS
- 6. KERB RETURN LONGITUDINAL SECTIONS
- 7-8. CORAL VINE ROAD LONGITUDINAL AND CROSS SECTIONS
- 9. DRAINAGE LONG SECTIONS 1
- 10. PIT SCHEDULE
- 11. SIGNAGE AND LINEMARKING PLAN



VERSION DETAILS:

REV	DATE	DESCRIPTION	STATUS
-	1/12/20	-	PRELIMINARY
A	9/12/20	COUNCIL SUBMISSION	PRELIMINARY
B	20/1/21	COUNCIL COMMENTS 19/1/21	APPROVED
C	17/3/21	SEWER AMENDMENTS	APPROVED

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DESIGNED:	M.LERNER	DATE:	6/11/2020	DATE PRINTED:	17/03/2021
AUTHORISED:	T.SMITH	DATE:	1/12/2020		



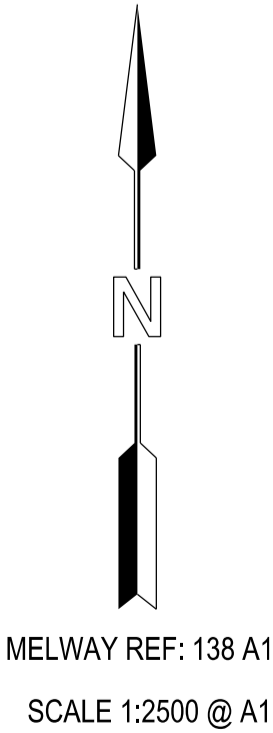
SUITE 1, LEVEL 1, 84 MT ELIZA WAY, MT ELIZA VIC 3930  
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COUNCIL:  
CITY OF CASEY

TITLE:  
JUNCTION VILLAGE PTY LTD  
THE JUNCTION- STAGE 3  
45 CRAIG ROAD, JUNCTION VILLAGE

LOCALITY PLAN AND SHEET INDEX

DRG NO. 1432_3/R01	REV. C	SHEET 01 OF 11
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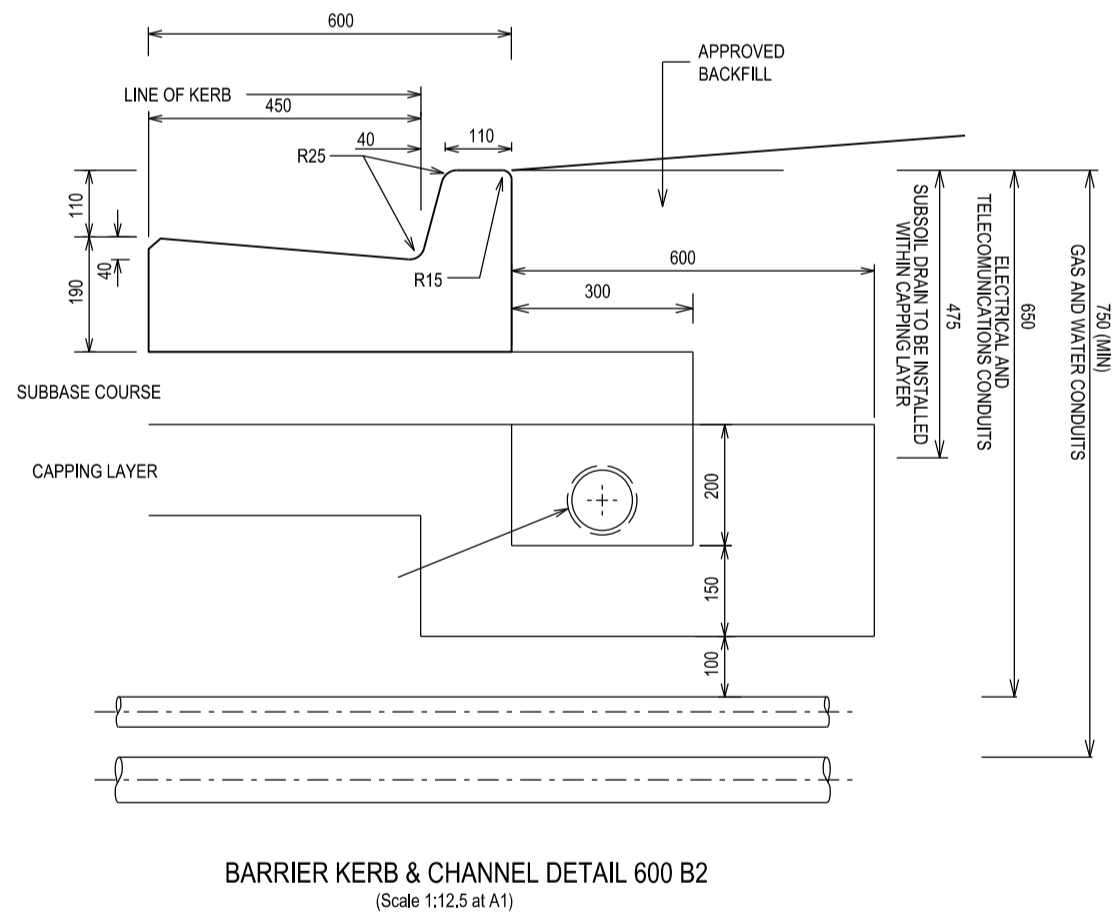
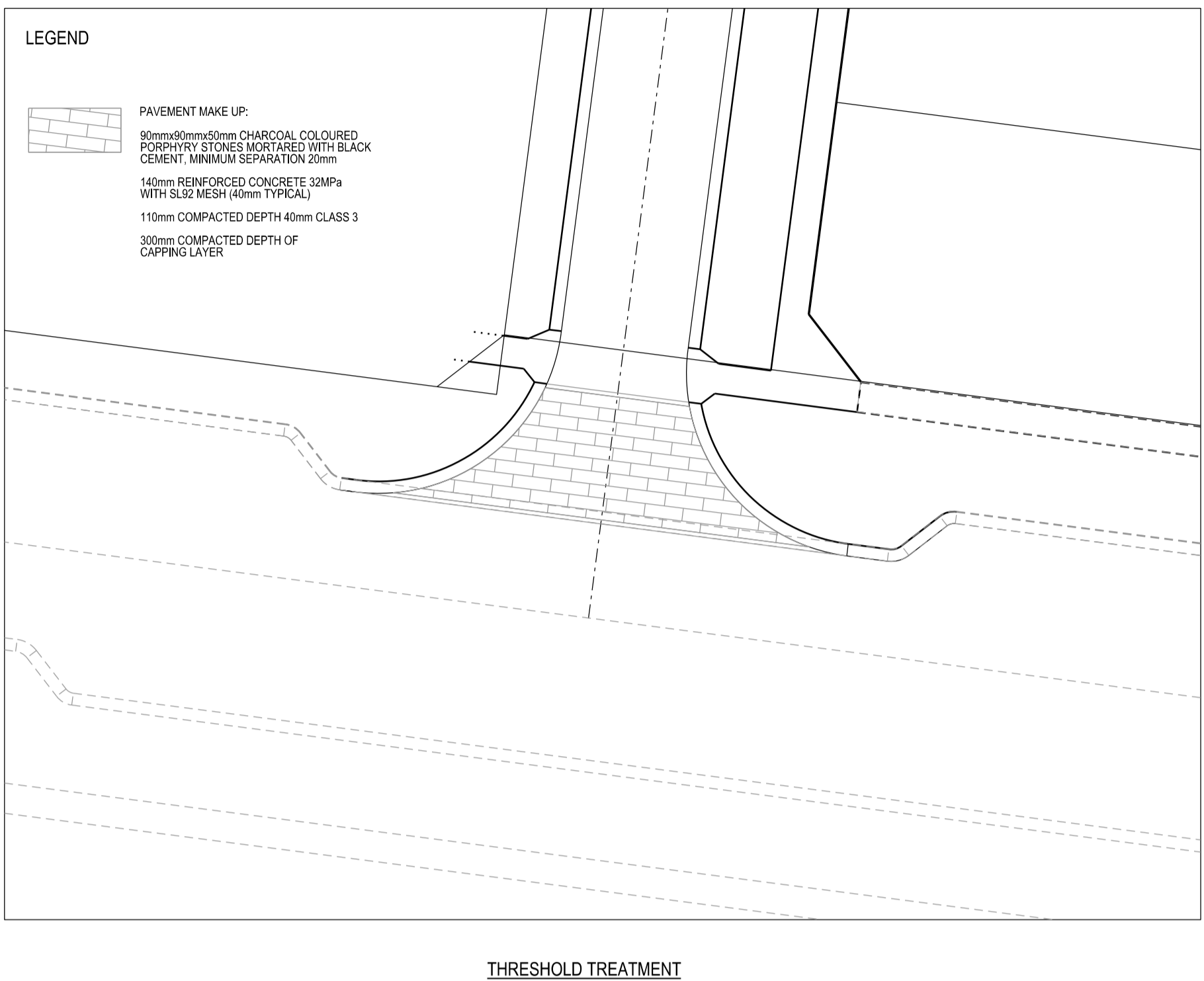
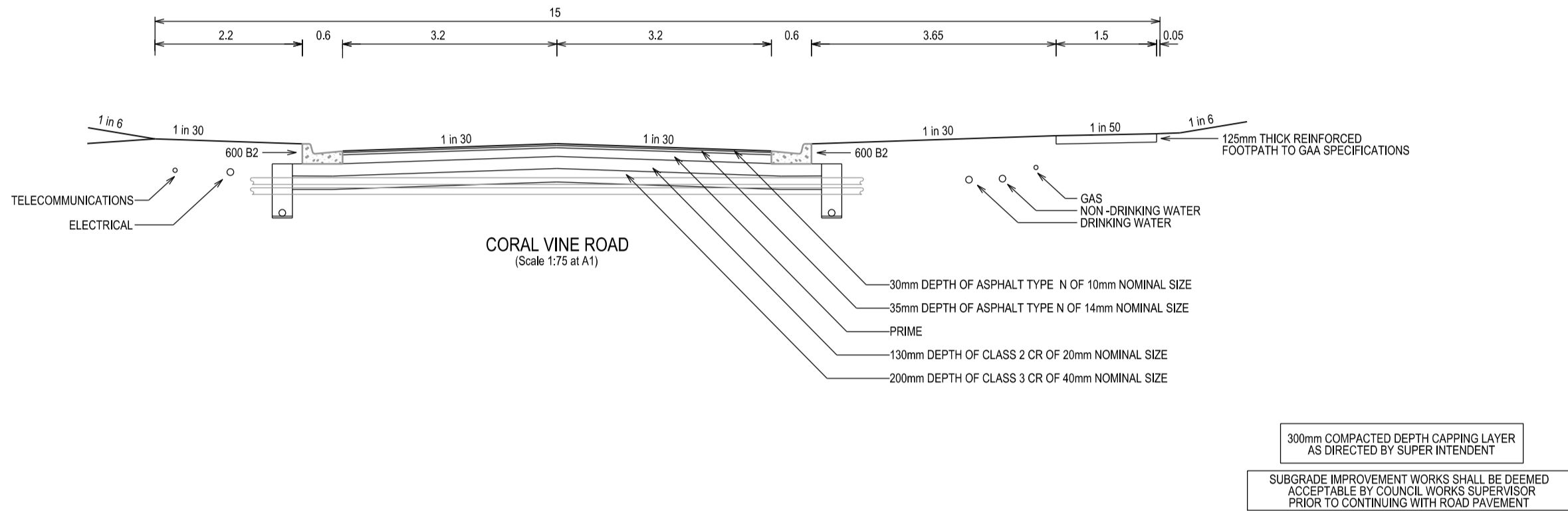
CONSTRUCTION NOTES


1. ALL LEVELS AND DIMENSIONS ARE IN METRES UNLESS OTHERWISE SPECIFIED.
2. ALL WORKS ARE TO BE CARRIED OUT IN ACCORDANCE WITH THE CURRENT AUTHORITY STANDARDS, SPECIFICATIONS AT THE TIME OF CONSTRUCTION AND IN ACCORDANCE WITH THE AUSTRALIAN STANDARD GENERAL CONDITIONS OF CONTRACT AS 2124-1992.
3. STANDARD DRAWINGS OF THE RELEVANT ROAD AUTHORITY ARE AN ANNEXURE TO THE CONSTRUCTION DRAWINGS
4. THE CERTIFIED PLAN OF SUBDIVISION IS AN ANNEXURE TO THE CONSTRUCTION DRAWINGS
5. MELBOURNE WATER PLANS FOR WETLANDS AND INFRASTRUCTURE (WHERE APPLICABLE) ARE AN ANNEXURE TO THE CONSTRUCTION DRAWINGS.
6. THE SCHEDULE OF QUANTITIES ARE AN ANNEXURE TO THE CONSTRUCTION DRAWINGS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONFIRM THE QUANTITIES REFLECT THAT OF THE CONSTRUCTION WORKS DETAILED IN THESE PLANS. THE SUPERINTENDENT IS TO BE NOTIFIED SHOULD ANY DISCREPANCIES BE IDENTIFIED.
7. ALL DISTURBED AREAS ARE TO BE GRADED, TOPSOILED TO A MINIMUM DEPTH OF 150 MILLIMETRES AND SOWN WITH APPROVED SEED MIX TO THE SATISFACTION OF THE SUPERINTENDENT.
8. APPROVAL FOR THE USE OF WATER FOR CONSTRUCTION PURPOSES IS THE RESPONSIBILITY OF THE CONTRACTOR. REFER TO THE RELEVANT WATER AUTHORITY FOR SPECIFIC REQUIREMENTS AND APPROVALS.
9. IT IS THE CONTRACTORS RESPONSIBILITY TO PROVE THE LOCATION AND DEPTH OF ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF WORKS. THE SUPERINTENDENT IS TO BE NOTIFIED SHOULD ANY DISCREPANCIES BE IDENTIFIED.
10. SITE ACCESS MUST BE MAINTAINED AT ALL TIMES. TRAFFIC MANAGEMENT PLAN MUST BE PROVIDED TO THE RELEVANT ROAD AUTHORITY (AND APPROVED) /SUPERINTENDENT PRIOR TO THE COMMENCEMENT OF WORKS.
11. ACCESS TO THE EXISTING RESIDENCE TO BE MAINTAINED AT ALL TIMES.
12. THE CONTRACTOR IS RESPONSIBLE FOR ALL ENVIRONMENTAL CONTROLS TO THE SATISFACTION OF THE RELEVANT AUTHORITIES AND EPA REQUIREMENTS.
13. APPROPRIATE INSPECTIONS ARE TO BE ARRANGED WITH THE COUNCIL WORKS SUPERVISOR
14. ALL VEGETATION TO BE RETAINED AS SPECIFIED IS TO BE PROTECTED (TPZ FENCING) PRIOR TO THE COMMENCEMENT OF WORKS
15. ALL FILLING WORKS ARE TO BE UNDERTAKEN IN ACCORDANCE WITH THE GEOTECHNICAL REPORT (REPORT No. 1200294-1) AND UNDERTAKEN UNDER LEVEL 1 SUPERVISION. A COMPACTION REPORT IS TO BE PROVIDED UPON COMPLETION OF THE FILLING WORKS.
16. ALL BATTERS SHALL BE BLENDED INTO THE NATURAL SURFACE TO THE SATISFACTION OF THE SUPERINTENDENT.
17. MINIMUM FALL ON LOTS IS TO BE 1 IN 150 LONGITUDINALLY.
18. PRIOR TO THE FILLING OF EXISTING OPEN DRAINS, CHANNELS OR DAMS A SUITABLY QUALIFIED GEOTECHNICAL CONSULTANT SHOULD VERIFY THE BASE IS SUITABLE FOR FILLING AND THE INVERT LEVELS ARE TO BE TAKEN TO ENSURE THE AS-CONSTRUCTED FILL DEPTHS CAN BE VERIFIED.
19. THE CONTRACTOR IS RESPONSIBLE FOR ALL SERVICE TRENCHING AND BACKFILLING FOR DRAINAGE, SEWER, POTABLE AND NON-POTABLE WATER, ELECTRICAL, TELECOMMUNICATIONS AND GAS INCLUDING THE REMOVAL/DISPOSAL OF EXCESS MATERIAL.
20. REFER TO THE RELEVANT SERVICE PLANS FOR WORKS ASSOCIATED WITH MELBOURNE WATER WORKS, SEWER, POTABLE AND NON-POTABLE WATER, ELECTRICAL, TELECOMMUNICATION AND GAS SUPPLY. THESE SERVICES ARE REFLECTED ON THE DETAIL PLANS INDICATIVELY AND MAY BE SUBJECT TO MINOR AMMENDMENTS.
21. LOCATIONS FOR SERVICE CONDUITS SHALL BE DETERMINED FROM THE RELEVANT SERVICE PLANS. WHERE THESE ARE REQUIRED TO BE ALTERED THE SUPERINTENDENT WILL CONFIRM THESE LOCATIONS AS REQUIRED. POTABLE & NON-POTABLE WATER AND GAS CONDUITS SHOULD BE A MINIMUM OF 4 METRES FROM TITLE BOUNDARIES (SIDE) WHERE POSSIBLE. CONDUIT LOCATIONS SHOULD BE POSITIONED IN CONJUNCTION WITH THE RELEVANT SUB-CONTRACTOR
22. A.G DRAINS TO BE CONSTRUCTED BEHIND ALL KERB AND CHANNEL AND LONGITUDINAL PAVEMENT JOINTS
23. RCP DRAINAGE PIPES TO BE CLASS 2, RUBBER RING JOINTED UP TO Ø675mm UNLESS OTHERWISE SPECIFIED
24. ALL DRAINAGE LINES IN ROAD RESERVES, UNDER PAVEMENTS, VEHICLE CROSS-OVERS ARE TO BE BACKFILLED WITH FCR AS PER THE RELEVANT AUTHORITY SPECIFICATIONS.
25. ALL EASEMENT DRAINS ARE AT 1 METRE OFFSET UNLESS OTHERWISE SPECIFIED.
26. ALL PIT FLOORS ARE TO BE SHAPED TO ACCOMMODATE DROP THROUGH PITS. ALL PITS TO BE CONSTURCTED TO THE COUNCIL/EDCM SPECIFICATIONS.
27. ALL PIT LIDS ARE TO BE IN ACCORDANCE WITH THE COUNCIL/EDCM SPECIFICATIONS
28. ALL PROPERTY INLET DRAINS TO BE Ø225mm AND MUST BE A MINIMUM OF 500 MILLIMETRES BELOW THE FINISHED SURFACE LEVELS AS REQUIRED BY THE COUNCIL/EDCM SPECIFICATIONS.
29. SUBGRADE IMPROVEMENT IS TO BE APPROVED BY THE SUPERINTENDENT AND COUNCILS WORKS SUPERVISOR PRIOR TO COMMENCEMENT OF WORKS.
30. PAVEMENT DEPTHS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND GEOTEHCNICAL REPORT (REPORT No. 1200294-1). CHANGES TO THESE DEPTHS MUST BE APPROVED BY COUNCILS WORKS SUPERVISOR AND THE SUPERINTENDENT.
31. THE CONTRACTOR SHALL CONTACT THE SUPERINTENDENT FOR THE CO-ORDINATION OF ELECTRICAL WORKS AT LEAST 28 DAYS PRIOR TO THE PROPOSED COMMENCEMENT.
32. ELECTRICAL AND TELECOMMUNICATIONS CABLES ARE TO BE PLACED IN A SHARED TRENCH TO THE SPECIFICATIONS OF THE RELEVANT AUTHORITIES.
33. CONDUIT LOCATIONS AND PROPERTY DRAIN INLET LOCATIONS ARE TO BE STAMPED ON KERB AND CHANNEL AND FOOTPATH IN ACCORDANCE WITH COUNCIL/EDCM SPECIFICATIONS.
34. FOOTPATHS ARE TO CONSTRUCTED 1.5 METRES WIDE AND 2.5 METRES WIDE (SHARED) IN ACCORDANCE WITH COUNCIL/EDCM SPECIFICATIONS.
35. PEDESTRIAN CROSSINGS THROUGH SPLITTER ISLANDS ARE TO BE CONSTRUCTED AT PAVEMENT LEVEL.
36. VEHICLE CROSOVERS ARE SHOWN INDICATIVELY. CONSTRUCTION REQUIREMENTS INCLUDING OFFSETS ARE TO BE IN ACCORDANCE WITH COUNCIL/EDCM SPECIFICATIONS
37. WHERE ALLOTMENTS ARE FILLED ABOVE FOOTPATH LEVELS, VEHICLE CROSSOVERS ARE TO BE CUT INTO ALLOTMENTS AT A MAXIMUM GRADE OF 1 IN 5
38. TBM AND PSM LOCATIONS ARE SHOWN ON SHEET 4 .
39. STREET SIGNS ARE TO BE INSTALLED IN ACCORDANCE WITH COUNCIL/EDCM SPECIFICATIONS.
40. SIGNAGE, LINE MARKING AND PAVEMENT MARKERS ARE TO BE INSTALLED IN ACCORDANCE WITH AS1742.2 2009, AND COUNCIL/EDCM SPECIFICATIONS
41. TACTILE INDICATORS ARE TO BE INSTALLED IN ACCORDANCE WITH AS1428.4.1 2009 AND VICROADS ROAD DESIGN NOTE 06-06. GUIDELINES FOR THE PLACEMENT OF TGSi AT ALL PRAM CROSSINGS, FOOTPATH JUNCTIONS IN ACCORDANCE WITH COUNCIL/EDCM REQUIREMENTS
42. THE PLANS MAY ONLY BE REPRODUCED IN THEIR ENTIRETY.
43. KERB RADII LABELS ARE IN METRES AND INDICATE BACK OF KERB DIMENSIONS.

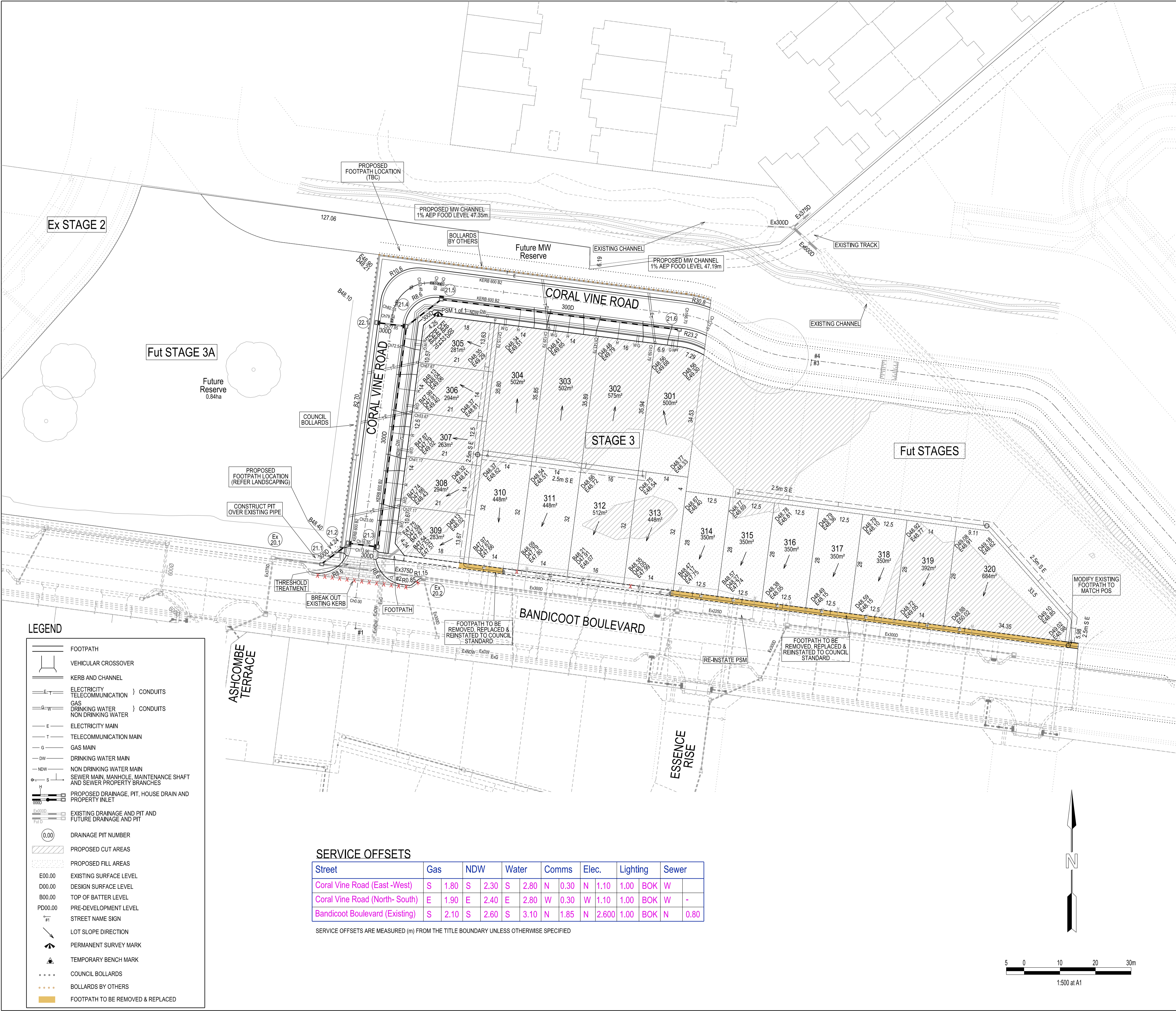
CITY OF CASEY NOTES:

1. ALL WORKS TO BE ACCORDANCE WITH CURRENT CITY OF CASEY AND/OR EDCM SPECIFICATIONS AND STANDARD DRAWINGS AND TO THE SATISFACTION OF THE CITY OF CASEY SUPERVISING ENGINEER.
2. PRIOR TO COMMENCING WORKS ON SITE THE CONTRACTOR MUST ADDRESS ALL OCCUPATIONAL HEALTH & SAFETY ACT (2004) ITEMS AND ENSURE THAT THE REQUIRED NOTIFICATIONS HAVE BEEN MADE TO THE VICTORIAN WORKCOVER AUTHORITY, HEALTH & SAFETY DIVISION REGARDING TRENCHING OPERATIONS.
3. PRIOR TO COMMENCING ANY WORKS ON TRENCHES WITH DEPTHS EXCEEDING 1.5M THE CONTRACTOR'S CONSTRUCTION SUPERVISOR MUST GIVE WRITTEN NOTICE TO WORKSAFE VICTORIA IN ACCORDANCE WITH PART 5.1, DIVISION 4 OF THE OCCUPATIONAL HEALTH & SAFETY REGULATIONS (2017) & UNDERTAKE THE NECESSARY SAFETY PRECAUTIONS FOR TRENCHING OPERATIONS IN ACCORDANCE WITH THE WORKCOVER CODE OF PRACTICE (2018).
4. PAVEMENT DEPTHS MAY NEED TO BE MODIFIED DURING CONSTRUCTION, DEPENDING ONTHE ON-SITE CONDITIONS AS DIRECTED BY THE CASEY CONSTRUCTION ENGINEER OR WORKS SUPERVISOR.
5. STREET LIGHTING MUST BE PROVIDED ON ALL NEWLY CREATED ROADS AND RESERVES IN ACCORDANCE WITH THE APPROVED PUBLIC LIGHTING PLAN
6. TREE RESERVE FENCES TO BE SHOWN ON CONSTRUCTION PLANS
7. APPROPRIATE SILTATION CONTROL IS TO BE CARRIED OUT DURING THE CONSTRUCTION AND MAINTENANCE PERIODS
8. AN ENVIRONMENTAL MANAGEMENT PLAN (EMP) MUST BE SUBMITTED TO, AND APPROVED BY COUNCIL PRIOR TO THE COMMENCEMENT OF ANY WORKS ON SITE AND ALL WORKS MUST BE CARRIED OUT IN ACCORDANCE WITH THIS EMP
9. CUT BATTERS ARE TO BE HYDRO MULCHED USING APPROVED SEED MIXES.
10. REMOVAL OR RETENTION OF EXISTING TREES OR VEGETATION MUST BE IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN (OTHERWISE APPROVAL WILL BE REQUIRED FROM CASEY ARBORIST OR LANDSCAPE OFFICER.)
11. NO SURPLUS TREES, VEGETATION OR OTHER MATERIALS IS TO BE BURNT ON SITE.
12. ALL FOOTPATHS AND SHARED PEDESTRIAN-BICYCLE PATHS ARE TO BE 125MM THICK REINFORCED CONCRETE USING SL72 MESH AS PER EDCM 401
13. IF IMPORTED FILL MATERIAL IS TO BE PLACED ON SITE CLEAN FILL CERTIFICATES MUST BE PROVIDED FROM A NATA APPROVED TESTING LABORATORY IN ACCORDANCE WITH EPA BULLETIN PUBLICATION NO. 448 TO DEMONSTRATE ITS SUITABILITY FOR USE ON SITE.
14. FILLING IN ALL PROPERTIES & ROAD RESERVES IS TO BE CARRIED OUT USING APPROVED CLAY FILL. TOPSOIL & ALL VEGETABLE MATTER TO BE STRIPPED FROM SITE PRIOR TO FILLING. ALL FILLING TO BE CARRIED OUT IN 150MM LAYERS AND COMPACTED TO 95% OF MAX. DRY DENSITY. ALL FILLING TO COMPLY WITH AS 3798-2007, SECTION 8.2, LEVEL 1 A FILL REPORT MUST BE SUBMITTED FROM A NATA REGISTERED SOIL TESTING LABORATORY
15. DAMS TO BE LEVELED PRIOR TO FILLING AND LEVELS SHOWN ON ‘AS CONSTRUCTED’PLANS
16. STRUCTURAL FILL PADS WILL BE REQUIRED FOR ANY COMMUNITY,FAMILY OR CHILDRENS CENTRES IN CONSULTATION WITH CASEY’S BUILDING MANAGEMENT TEAM
17. IF ANY EXISTING SUBSTANDARD FILLING IS ENCOUNTERED ON THE SITE IT MUST BE REMOVED AND REPLACED WITH APPROVED FILL MATERIAL PROPERLY COMPACTED TO COUNCIL REQUIREMENTS. A GEO-TECHNICAL REPORT MUST BE SUBMITTED SHOWING DETAILS OF DEPTH, TYPE OF MATERIAL AND DENSITY OF THE FILL AREAS CONCERNED
18. ALL COUNCIL RESERVES MUST BE PROVIDED WITH CONNECTIONS FOR DRAINAGE, SEWERAGE, ELECTRICITY & OTHER SERVICES
19. INDUSTRIAL STRENGTH VEHICLE CROSSINGS TO BE PROVIDED FOR LOTS IN ADJACENT TO TEMPORARY CRUSHED ROCK TURN AROUND AREAS ON ‘DEAD END’ ROADS
20. TEMPORARY CRUSHED ROCK TURN AROUND AREAS MUST BE MAINTAINED IN A SAFE AND SOUND CONDITION SO THAT VEHICLES ARE ABLE TO USE THEM AT ALL TIMES
21. CONCRETE IS TO BE PLACED AROUND ELECTRICAL DISTRIBUTION PITS TO A MINIMUM DEPTH OF 200MM. DISTRIBUTION PITS ARE TO BE A MINIMUM OF 300MM FROM EDGE OF FOOTPATHS
22. TELECOMMUNICATION CONDUITS ARE TO BE FOR USE BY ANY TELECOMMUNICATIONS COMPANY
23. TACTILE INDICATORS ARE TO BE INSTALLED IN ACCORDANCE WITH AS1428.4.1 'DESIGN FOR ACCESS AND MOBILITY' AT ALL PRAM CROSSINGS, BUS STOPS/ HARD STANDS, ROUNDABOUTS/SIGNALS AND INTERSECTIONS AND IN ACCORDANCE WITH EDCM 403.
24. A CCTV REPORT MUST BE PROVIDED FOR ALL DRAINAGE LINES PRIOR TO ISSUE OF PRACTICAL COMPLETION.

VERSION DETAILS:			
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-	1/12/20	-	PRELIMINARY
A	9/12/20	COUNCIL SUBMISSION	PRELIMINARY
B	20/1/21	COUNCIL COMMENTS 19/1/21	APPROVED
C	17/3/21	SEWER AMENDMENTS	APPROVED
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<div><div></div><div><div>CHARLTON DEGG</div><div>LAND DEVELOPMENT CONSULTANTS</div></div></div> <div>SUITE 1, LEVEL 1, 84 MT ELIZA WAY, MT ELIZA VIC 3930 www.charltondegg.com.au</div>			
COUNCIL: CITY OF CASEY			
TITLE: JUNCTION VILLAGE PTY LTD THE JUNCTION- STAGE 3 45 CRAIG ROAD, JUNCTION VILLAGE			
CONSTRUCTION NOTES			
DRG NO. 1432_3/R02	REV. C	SHEET 02 OF 11	



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B	20/1/21	COUNCIL COMMENTS 19/1/21	APPROVED
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COUNCIL: CITY OF CASEY			
TITLE: JUNCTION VILLAGE PTY LTD THE JUNCTION- STAGE 3 45 CRAIG ROAD, JUNCTION VILLAGE			
CORAL VINE ROAD TYPICAL CROSS SECTIONS			
DRG NO. 1432_3/R03	REV. C	SHEET 03 OF 11	



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**CHARLTONDEGG**  
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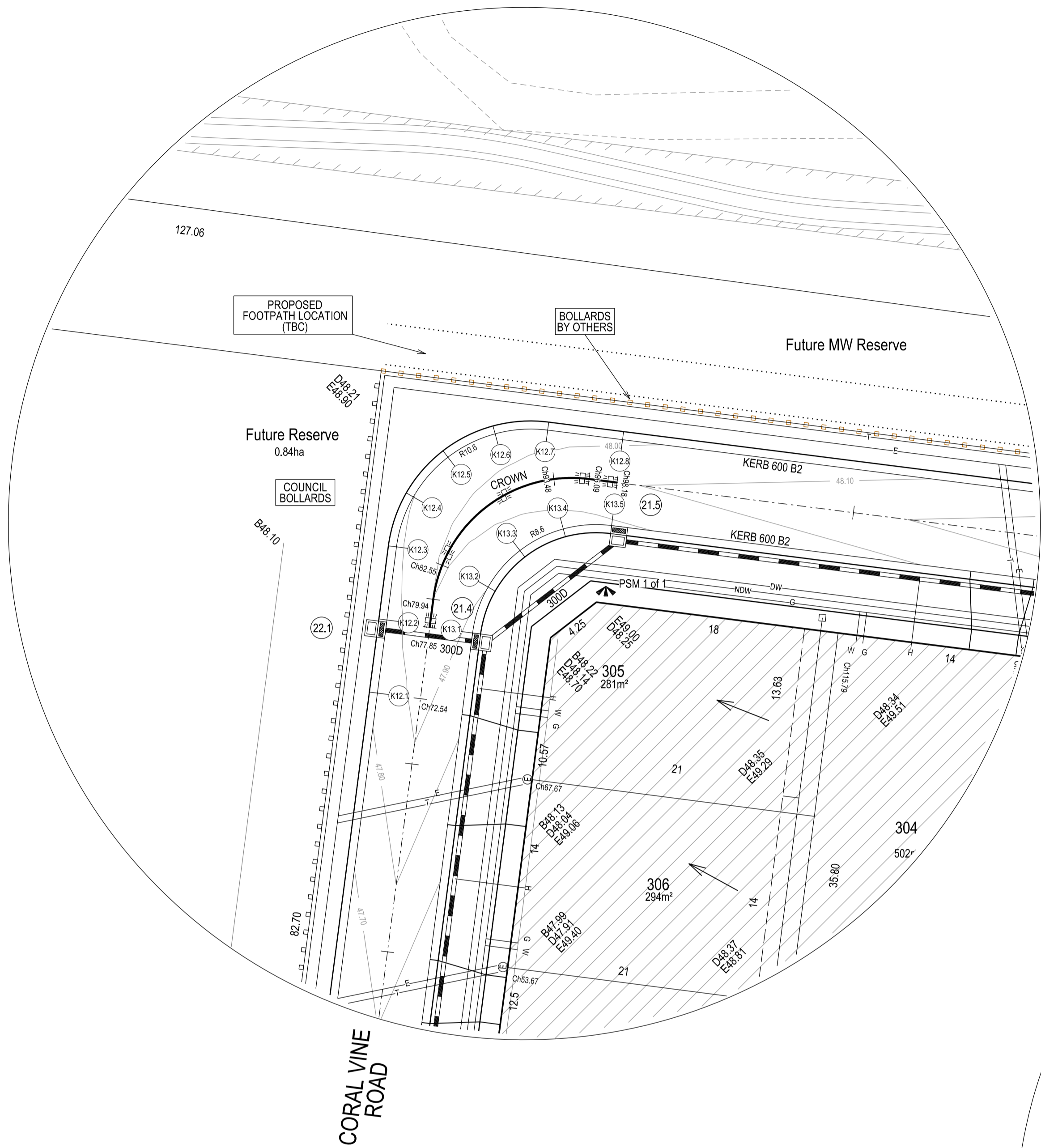
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TITLE: JUNCTION VILLAGE PTY LTD  
THE JUNCTION- STAGE 3  
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FUNCTIONAL LAYOUT PLAN 1

DRG NO. 1432_3/R04	REV. C	SHEET 4 OF 11
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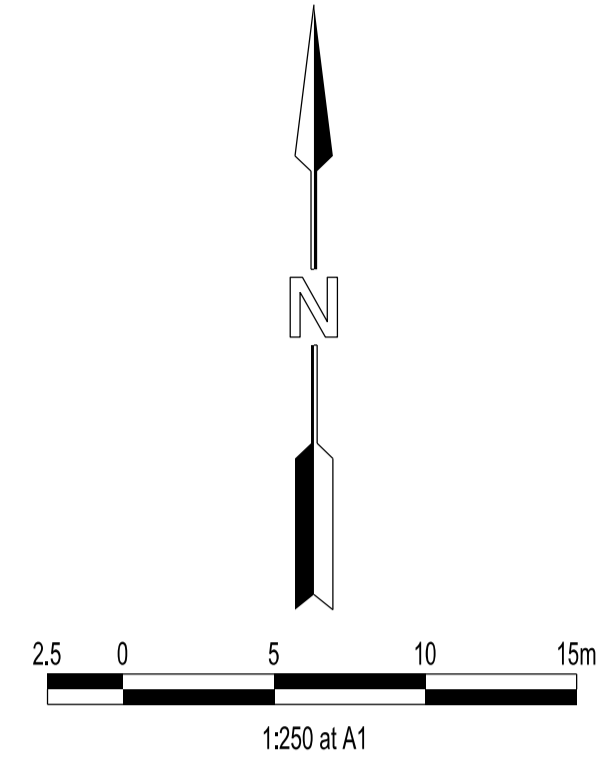


CORAL VINE ROAD

CORAL VINE ROAD

BANDICOOT BOULEVARD

BANDICOOT BOULEVARD



#### LEGEND

	FOOTPATH
	VEHICULAR CROSSOVER
	KERB AND CHANNEL
	ELECTRICITY TELECOMMUNICATION } CONDUITS
	GAS DRINKING WATER NON DRINKING WATER } CONDUITS
	ELECTRICITY MAIN
	TELECOMMUNICATION MAIN
	GAS MAIN
	DRINKING WATER MAIN
	NON DRINKING WATER MAIN
	SEWER MAIN, MANHOLE AND MAINTENANCE SHAFT
	PROPOSED DRAINAGE, PIT, HOUSE DRAIN AND PROPERTY INLET
	EXISTING DRAINAGE AND PIT AND FUTURE DRAINAGE AND PIT
	MELBOURNE WATER SCHEME DRAINAGE AND PIT (COUNCIL ASSET)
	DRAINAGE PIT NUMBER
	PROPOSED CUT AREAS
	PROPOSED FILL AREAS
	EXISTING SURFACE LEVEL
	DESIGN SURFACE LEVEL
	TOP OF BATTER LEVEL
	PRE-DEVELOPMENT LEVEL
	STREET NAME SIGN
	LOT SLOPE DIRECTION
	PERMANENT SURVEY MARK
	TEMPORARY BENCH MARK
	COUNCIL BOLLARDS

#### VERSION DETAILS:

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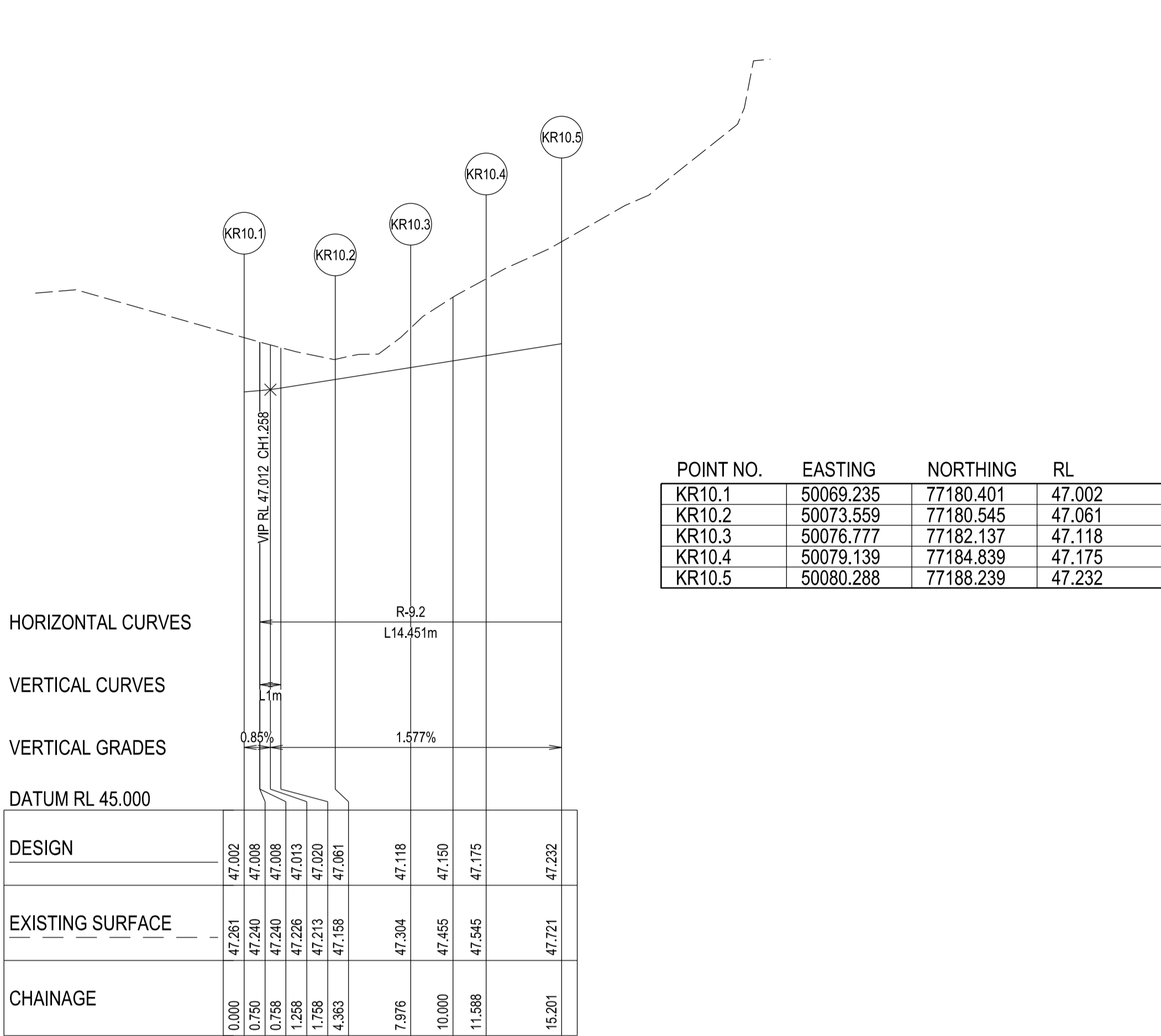
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COUNCIL:  
CITY OF CASEY

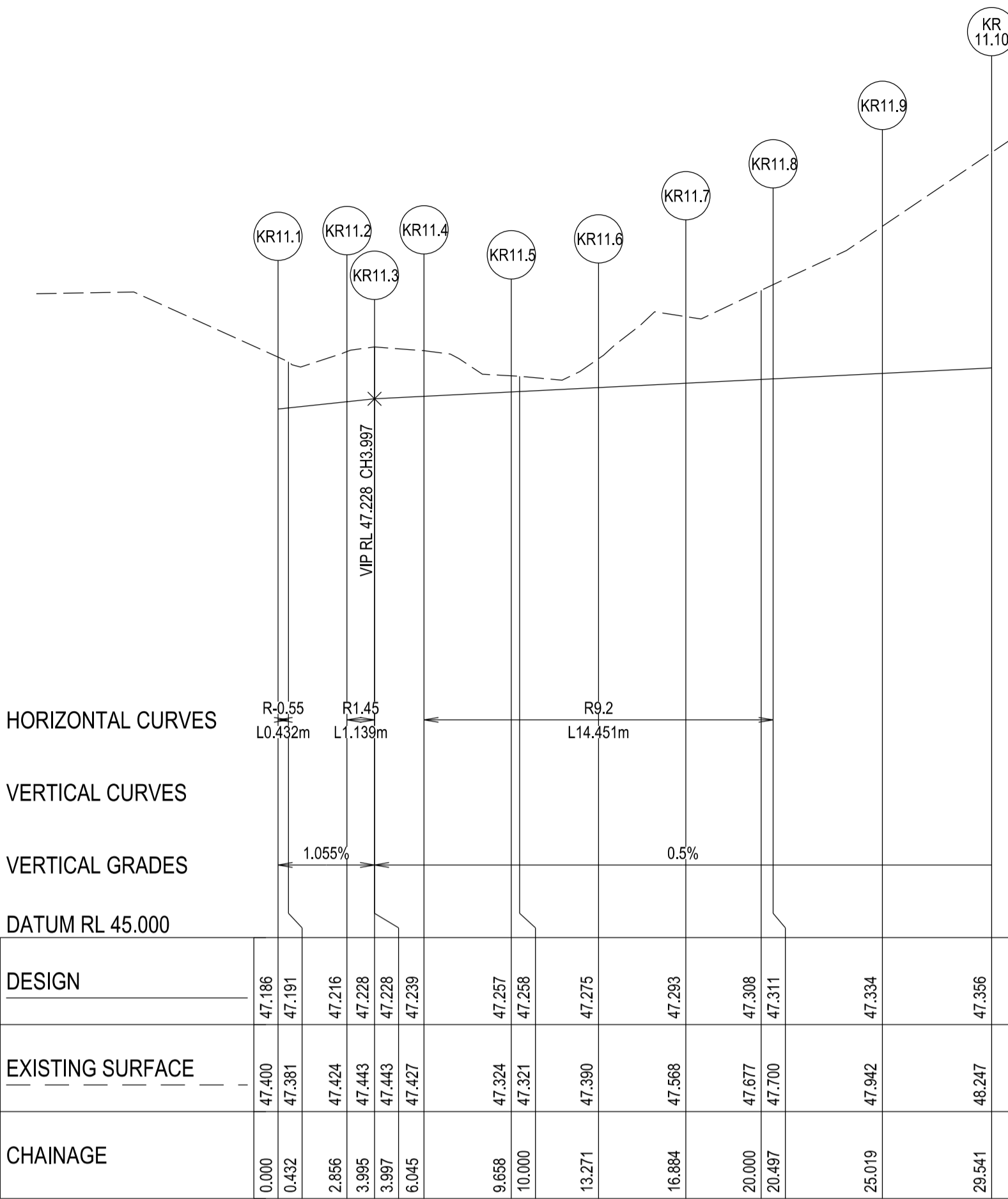
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JUNCTION VILLAGE PTY LTD  
THE JUNCTION- STAGE 3  
45 CRAIG ROAD, JUNCTION VILLAGE

#### INTERSECTION DETAILS

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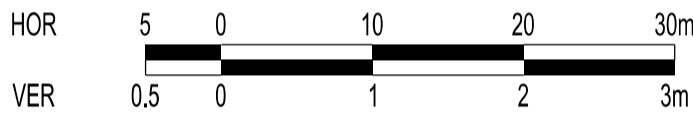


KR 10 - LONGITUDINAL SECTION  
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A1 VERT SCALE 1:20

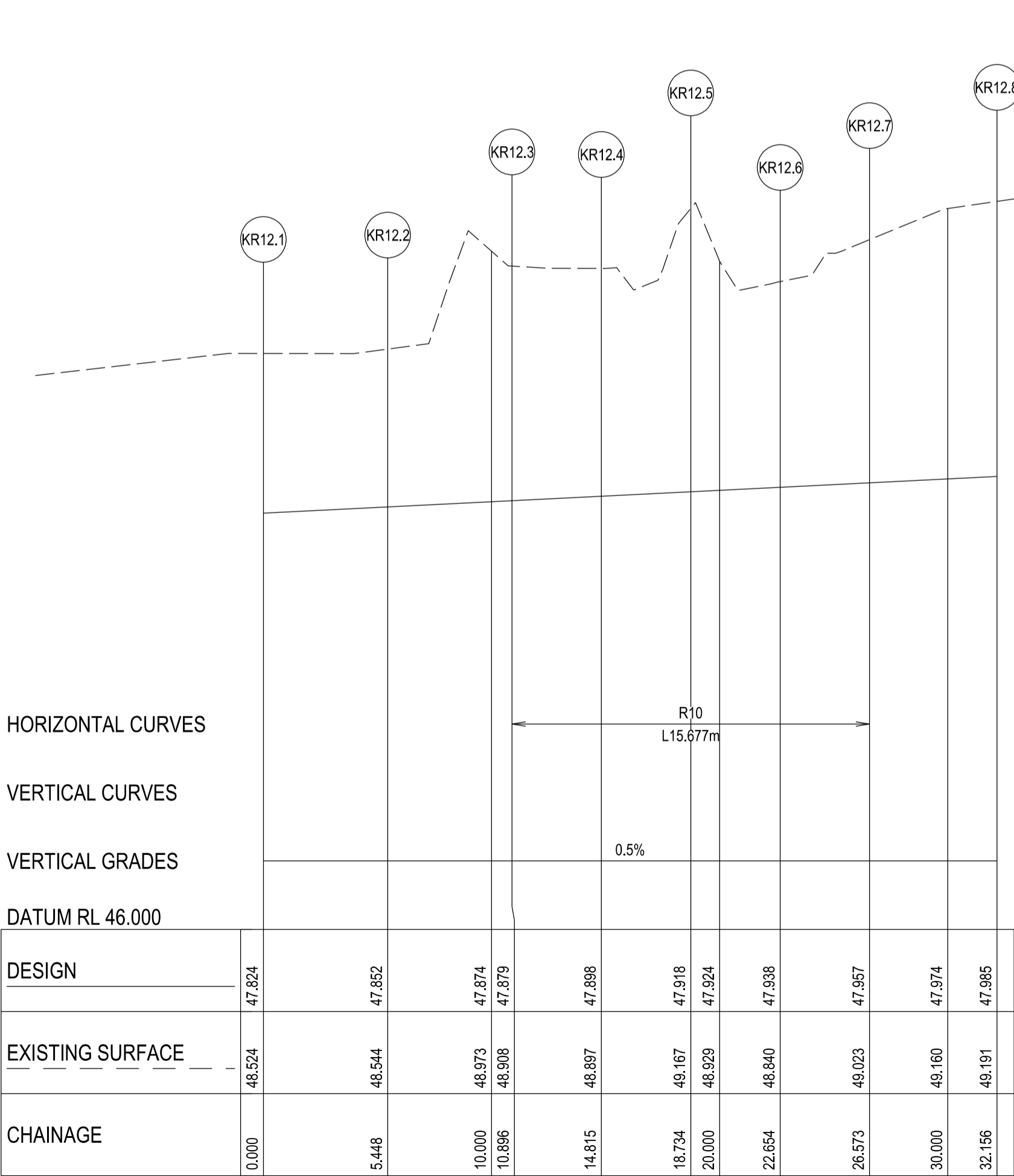


KR 11 - LONGITUDINAL SECTION  
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A1 VERT SCALE 1:20

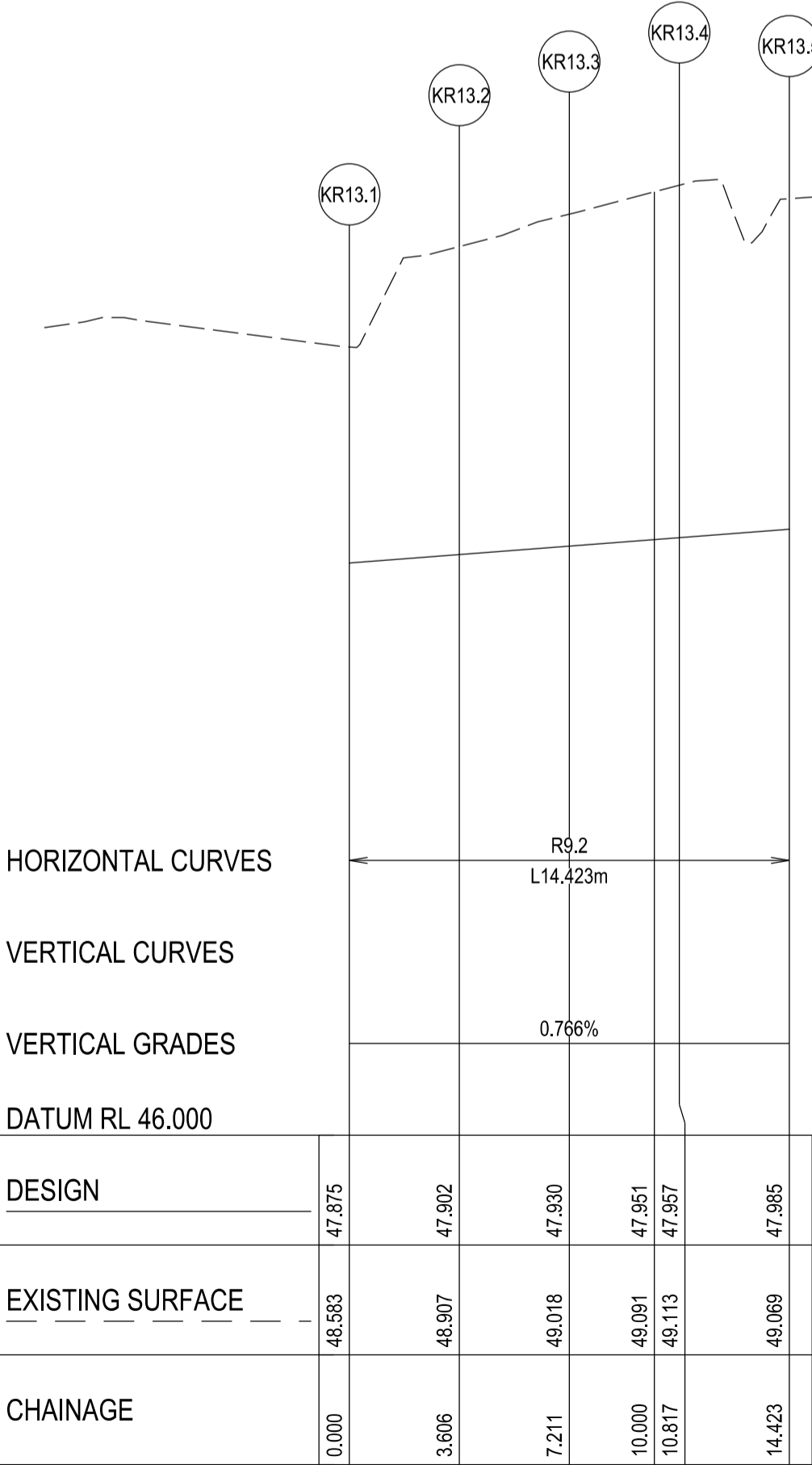
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KR11.3	50097.675	77177.128	47.216
KR11.4	50096.603	77176.839	47.228
KR11.5	50094.57	77177.103	47.239
KR11.6	50091.169	77178.252	47.257
KR11.7	50088.467	77180.615	47.275
KR11.8	50086.875	77183.833	47.293
KR11.9	50086.635	77187.414	47.311
KR11.10	50087.218	77191.899	47.334
KR11.11	50087.802	77196.382	47.356



HOR 1:500 at A1  
VER 1:50 at A1



KR12 - LONGITUDINAL SECTION  
A1 HORZ SCALE 1:200  
A1 VERT SCALE 1:20



KR 13 - LONGITUDINAL SECTION  
A1 HORZ SCALE 1:200  
A1 VERT SCALE 1:20

POINT NO.	EASTING	NORTHING	RL
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KR13.2	50096.028	77254.168	47.902
KR13.3	50098.382	77256.867	47.93
KR13.4	50101.59	77258.463	47.957
KR13.5	50105.164	77258.712	47.985

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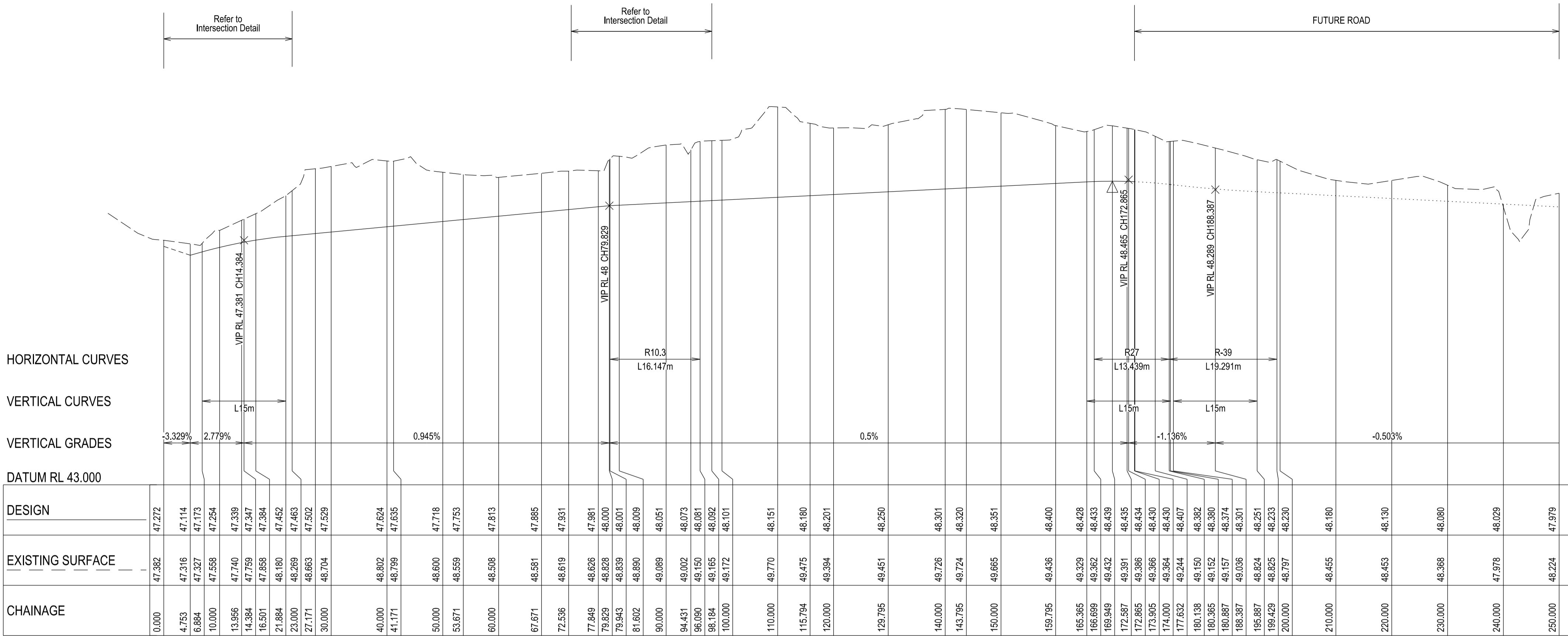
COUNCIL:

CITY OF CASEY

TITLE:  
JUNCTION VILLAGE PTY LTD  
THE JUNCTION- STAGE 3  
45 CRAIG ROAD, JUNCTION VILLAGE

KERB RETURN LONGITUDINAL SECTIONS 1

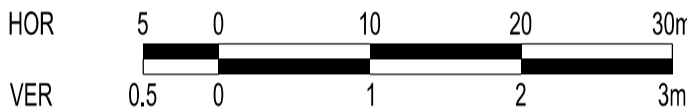
DRG NO. 1432_3/R06	REV. C	SHEET 06 OF 11
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CORAL VINE ROAD - LONGITUDINAL SECTION

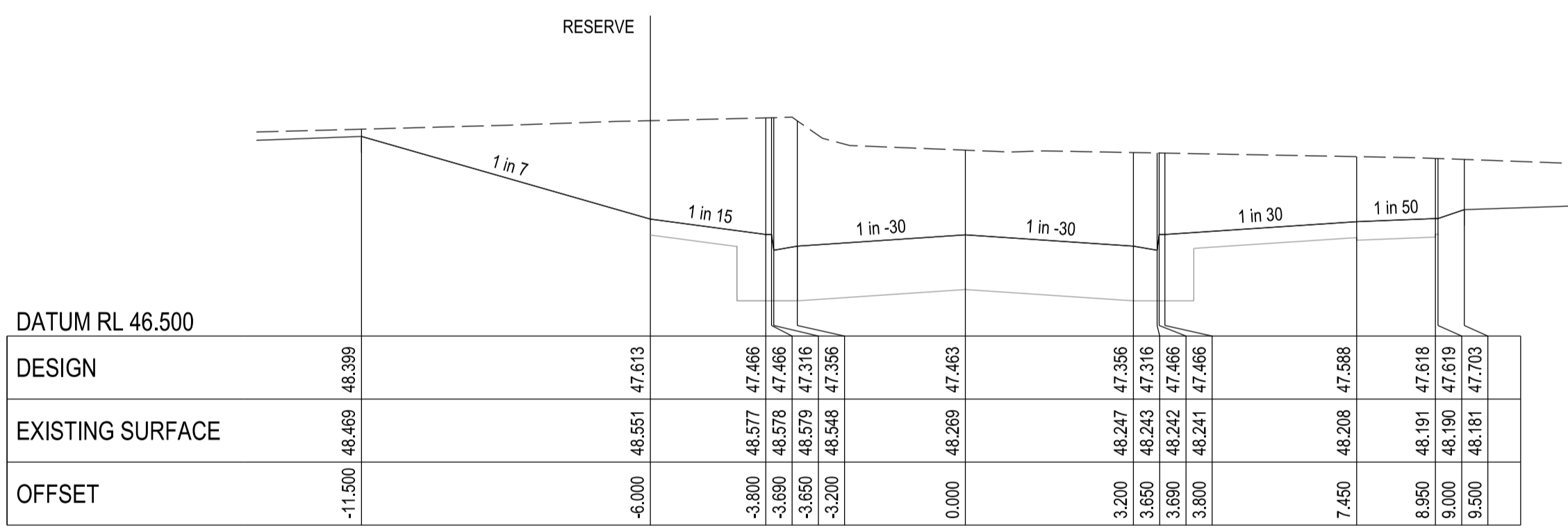
A1 HORZ SCALE 1:500

A1 VERT SCALE 1:50

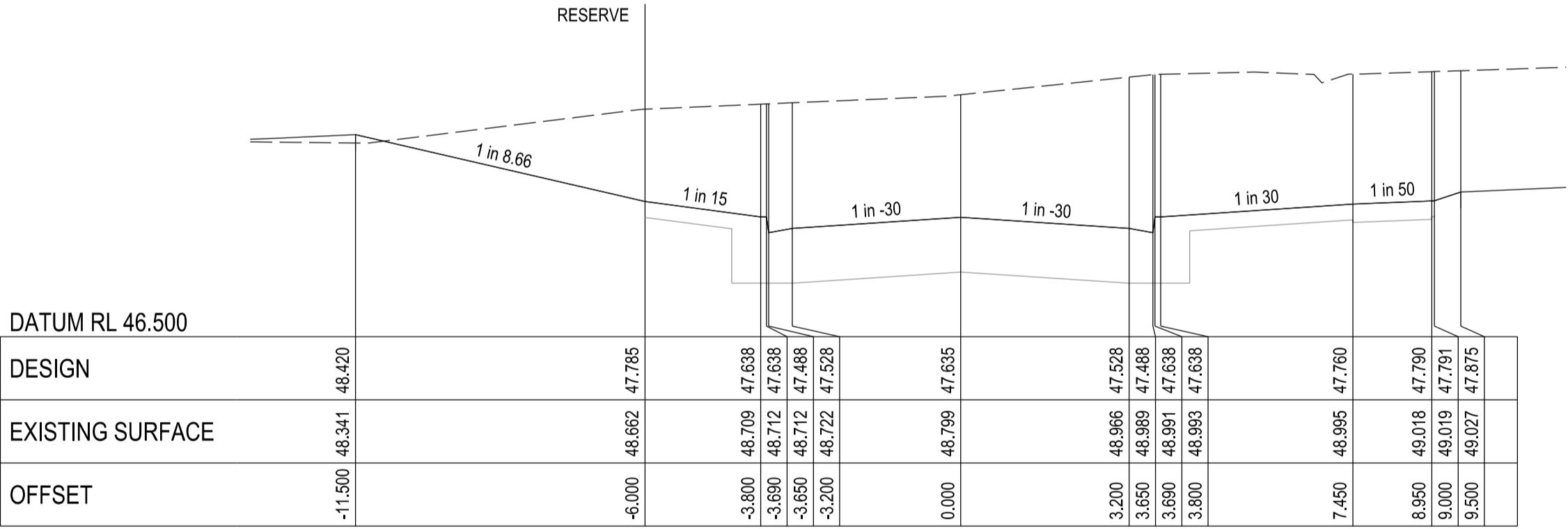


HOR 1:500 at A1

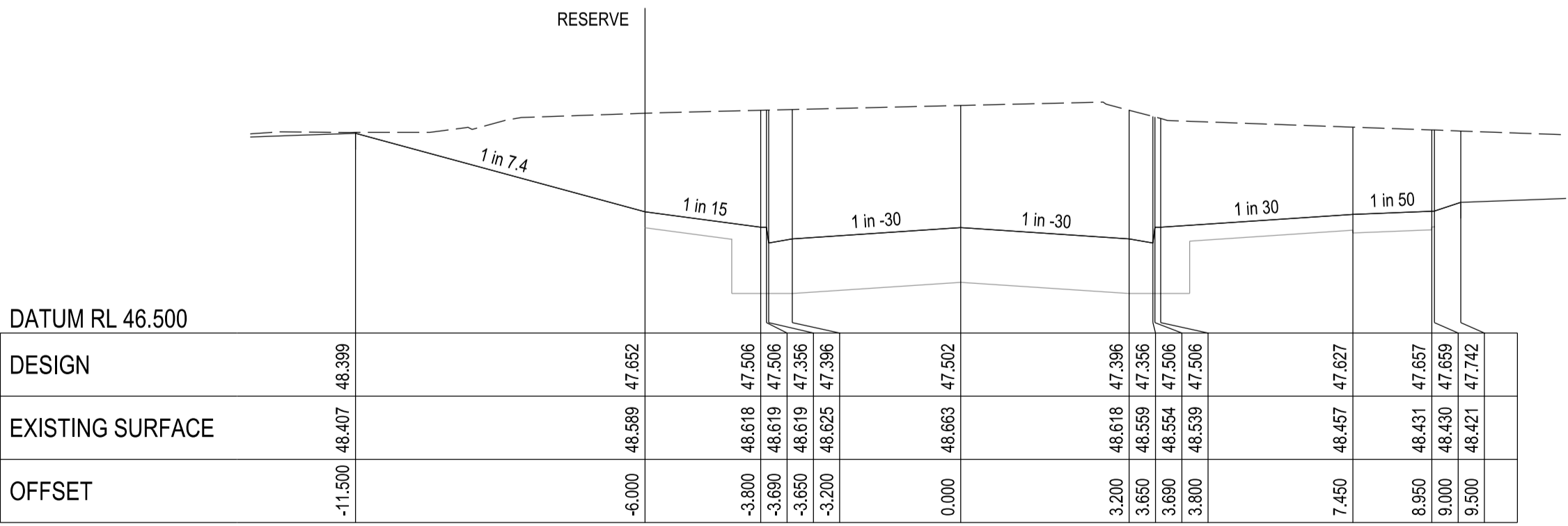
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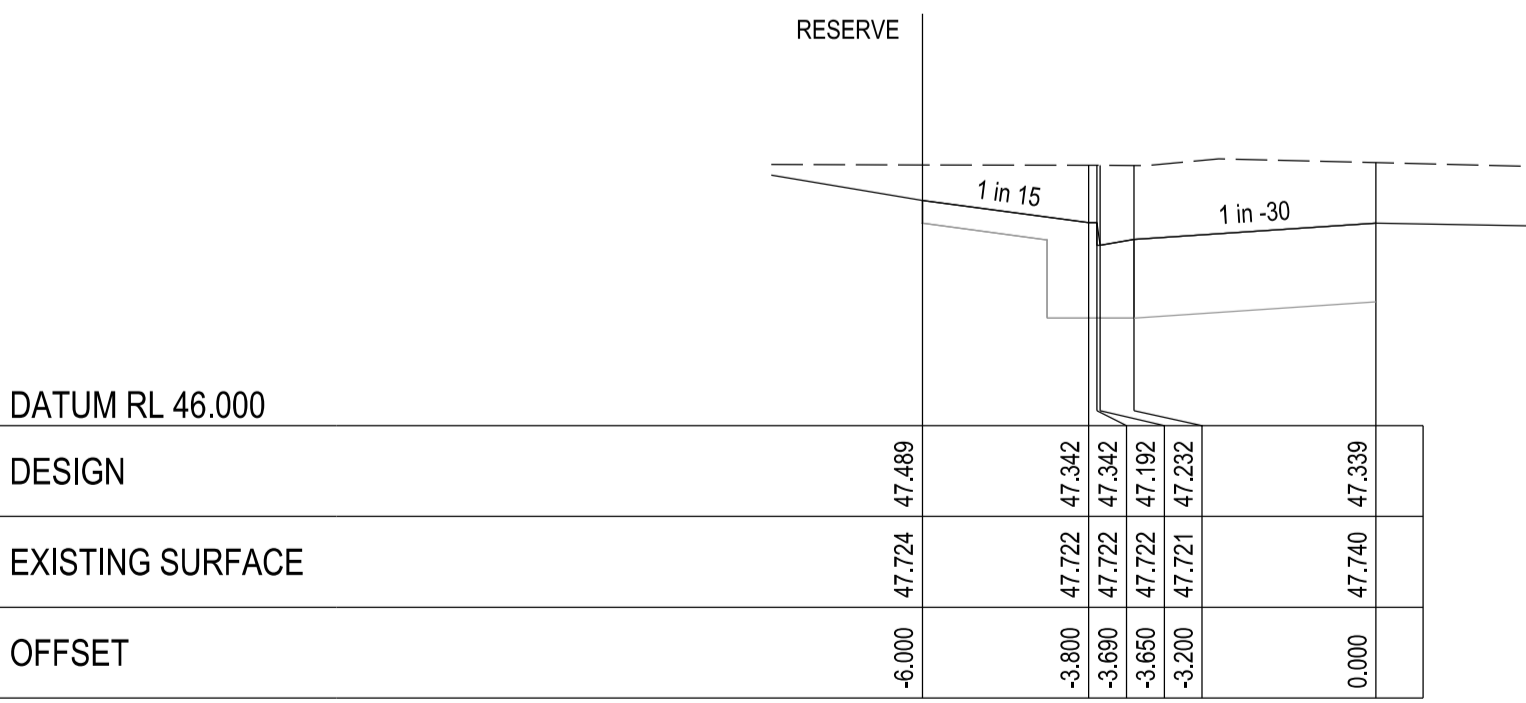
CHAINAGE 23



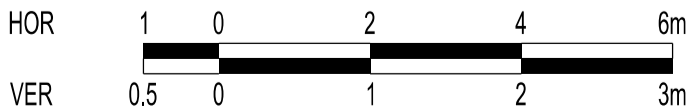
CHAINAGE 41.171



CHAINAGE 27.171




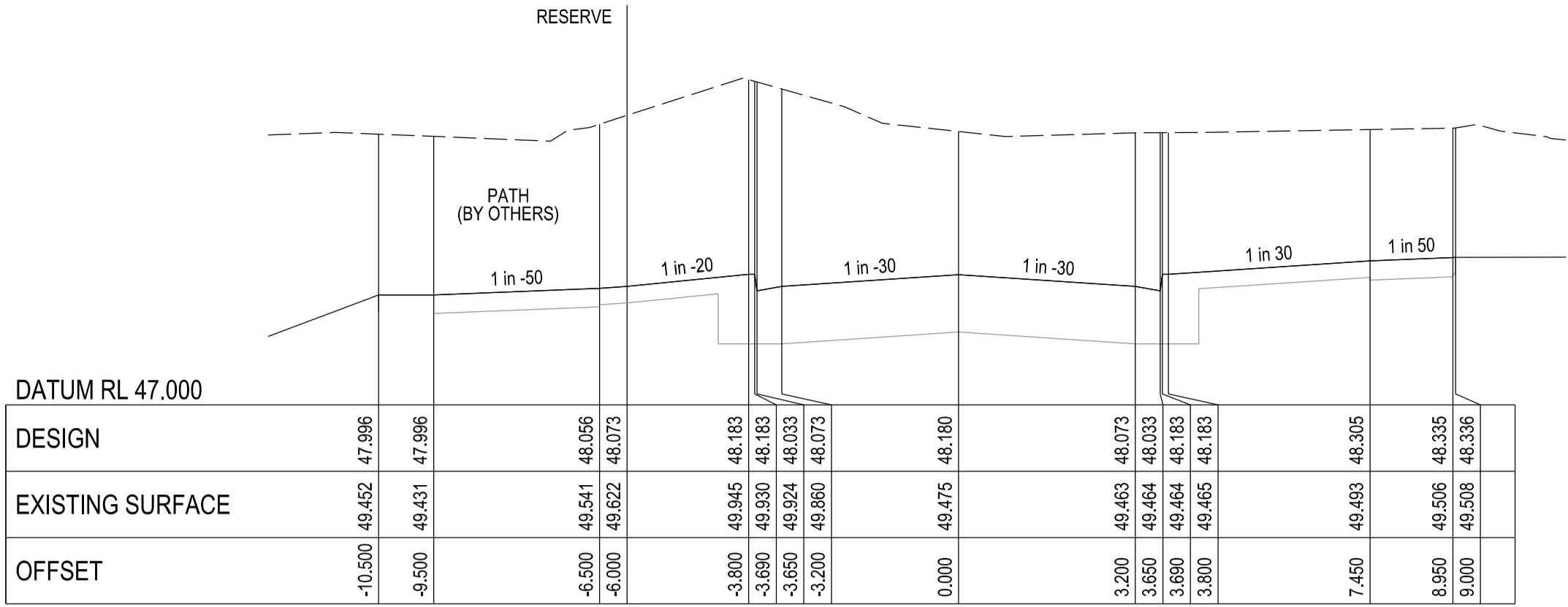
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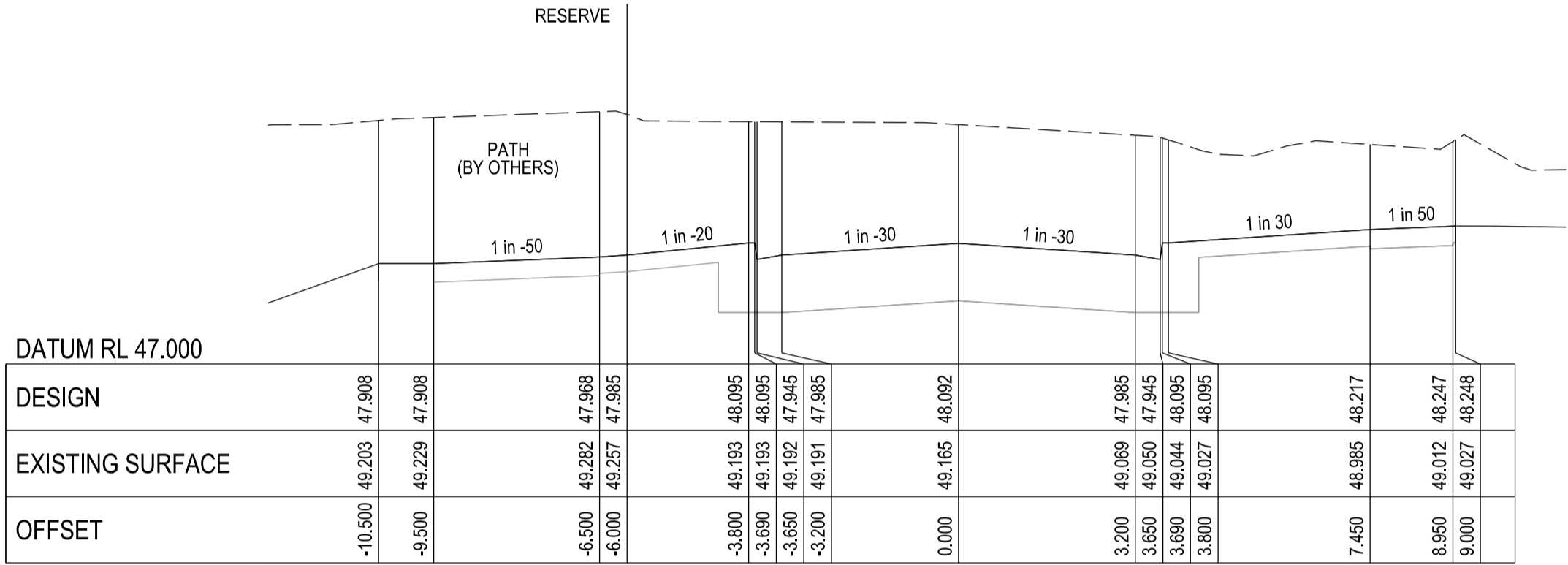
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VER 1:50 at A1

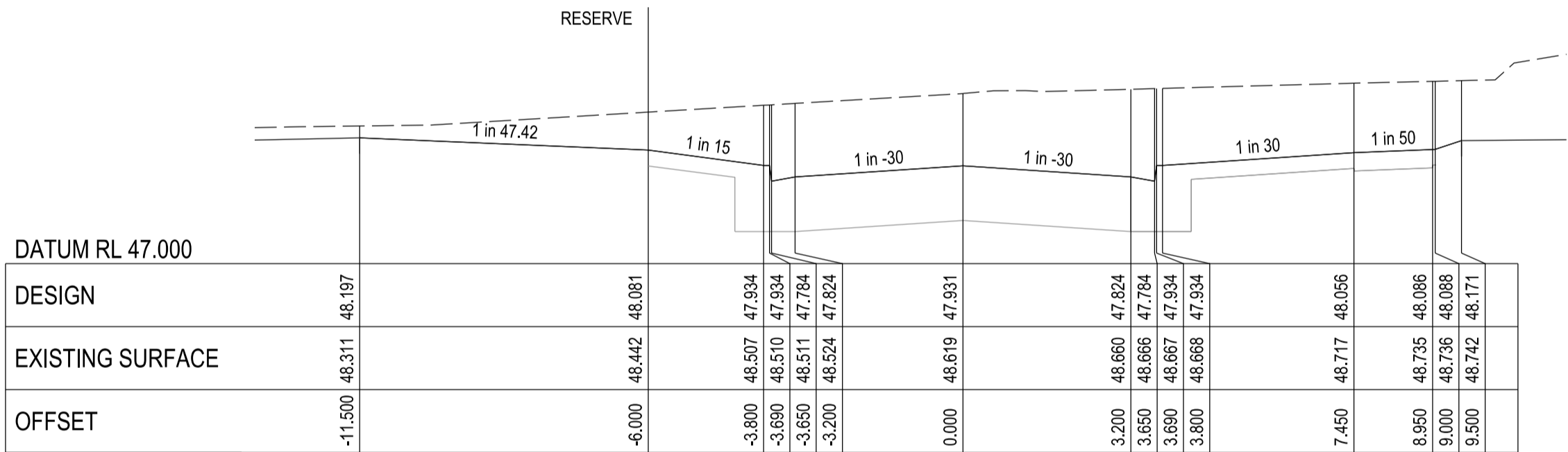
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-	1/12/20	-	PRELIMINARY
A	9/12/20	COUNCIL SUBMISSION	PRELIMINARY
B	20/1/21	COUNCIL COMMENTS 19/1/21	APPROVED
C	17/3/21	SEWER AMENDMENTS	APPROVED
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DRAWN:	M.LERNER	DATE: 1/12/2020	SCALE: AS SHOWN
DESIGNED:	M.LERNER	DATE: 6/11/2020	DATE PRINTED: 17/03/2021
AUTHORISED:	T.SMITH	DATE: 1/12/2020	
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COUNCIL: CITY OF CASEY			
TITLE: JUNCTION VILLAGE PTY LTD THE JUNCTION- STAGE 3 45 CRAIG ROAD, JUNCTION VILLAGE			
CORAL VINE ROAD LONGITUDINAL & CROSS SECTIONS			
DRG NO. 1432_3/R07		REV. C	SHEET 07 OF 11



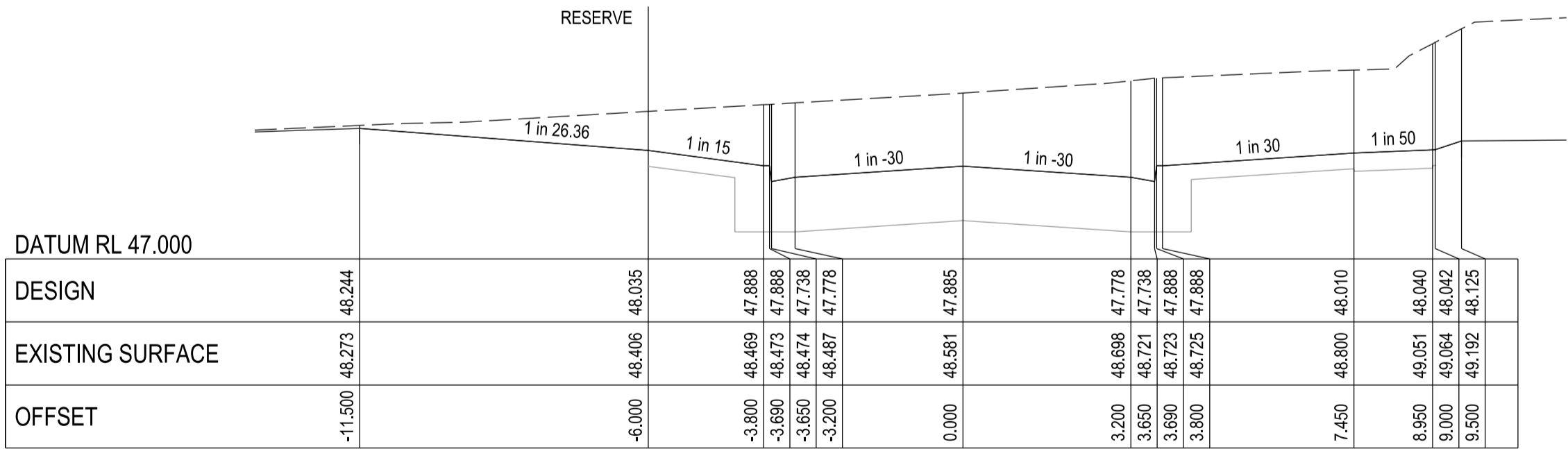
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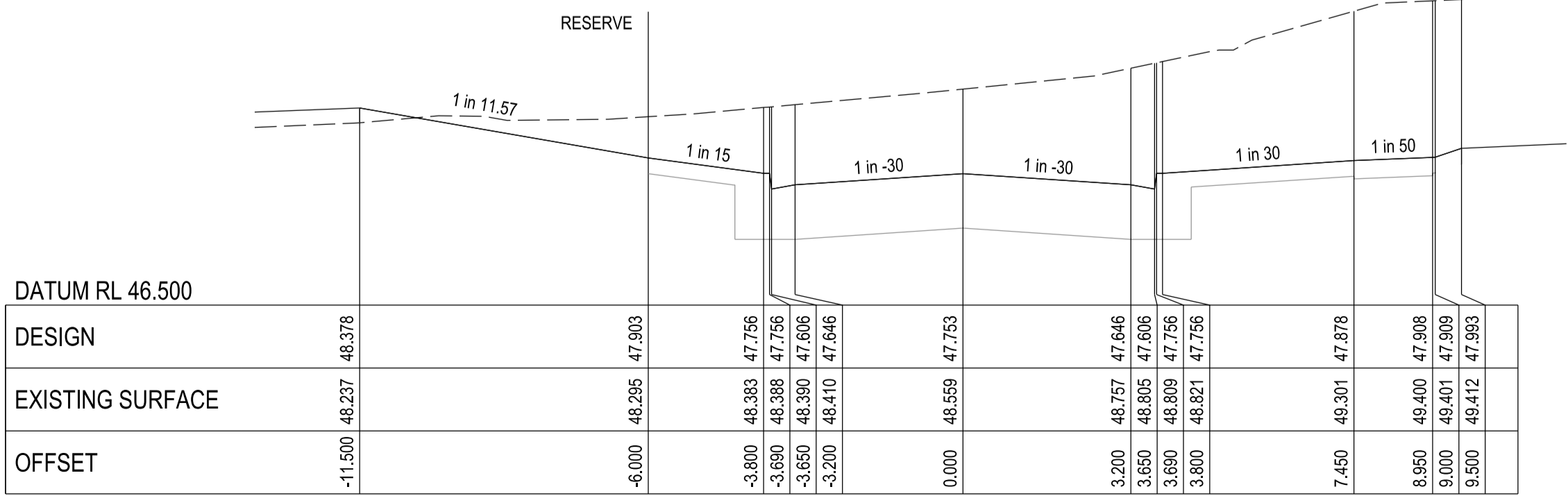
CHAINAGE 98.184



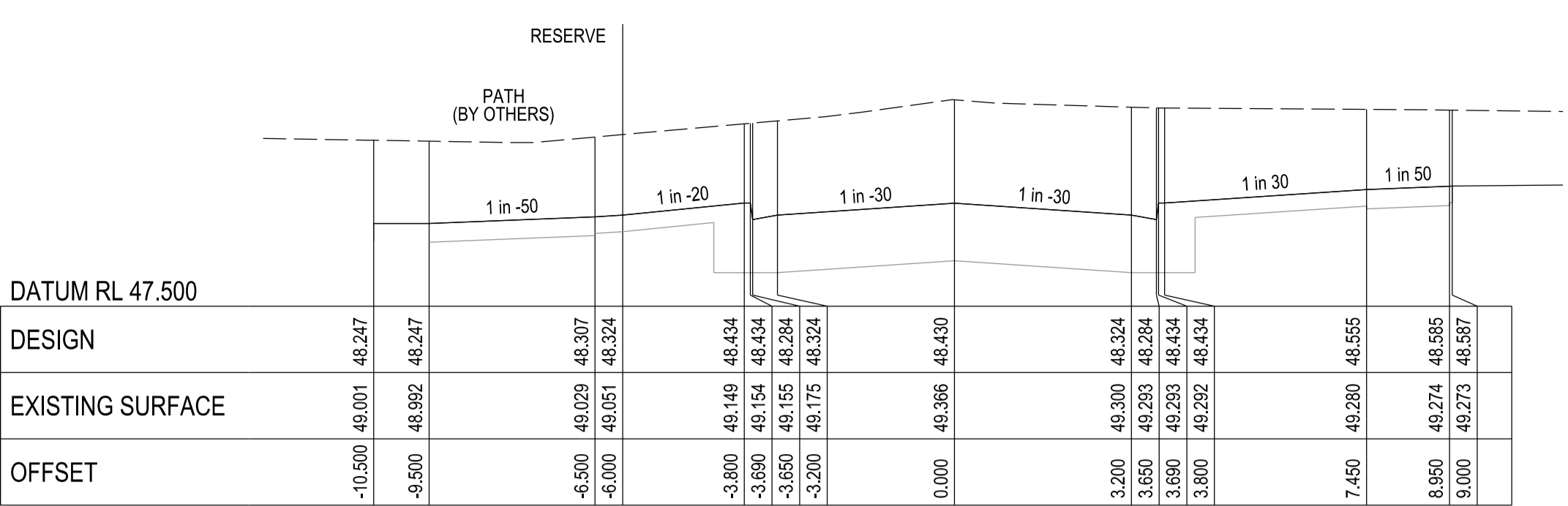
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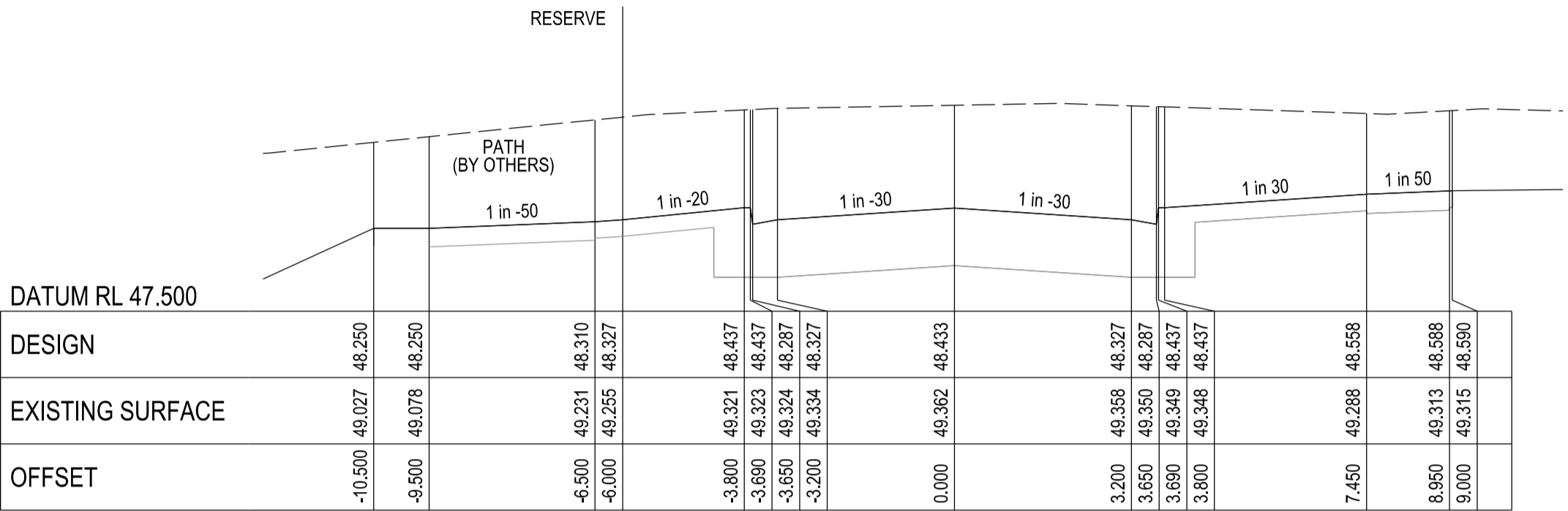
CHAINAGE 67.671



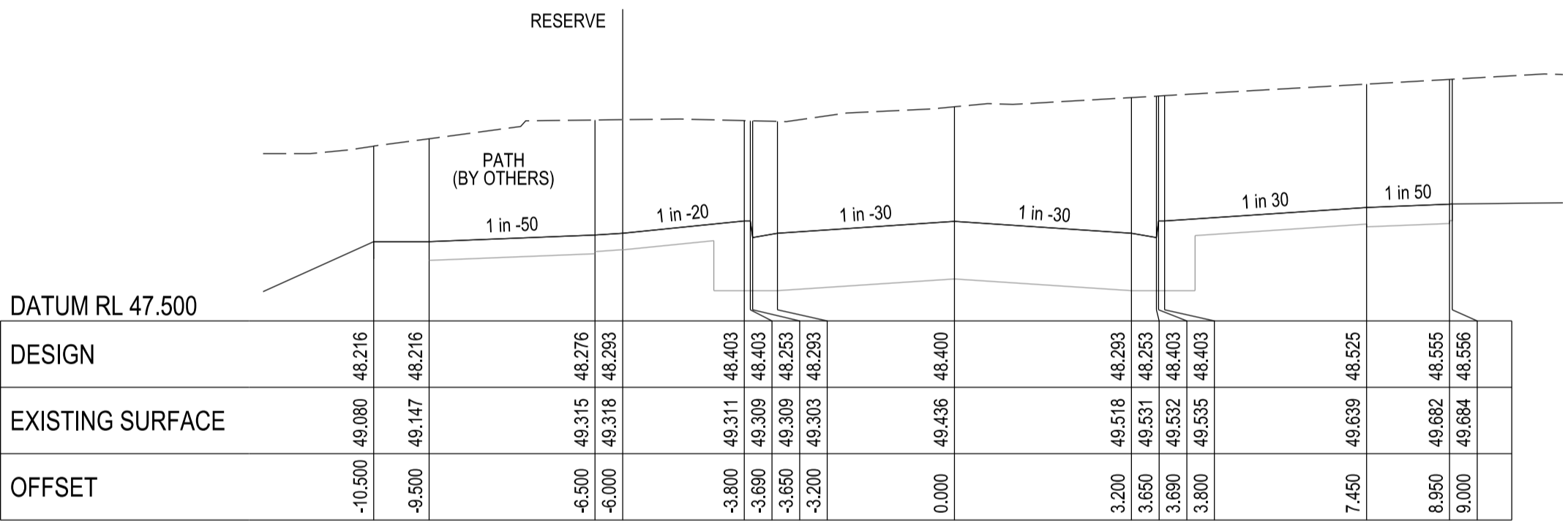
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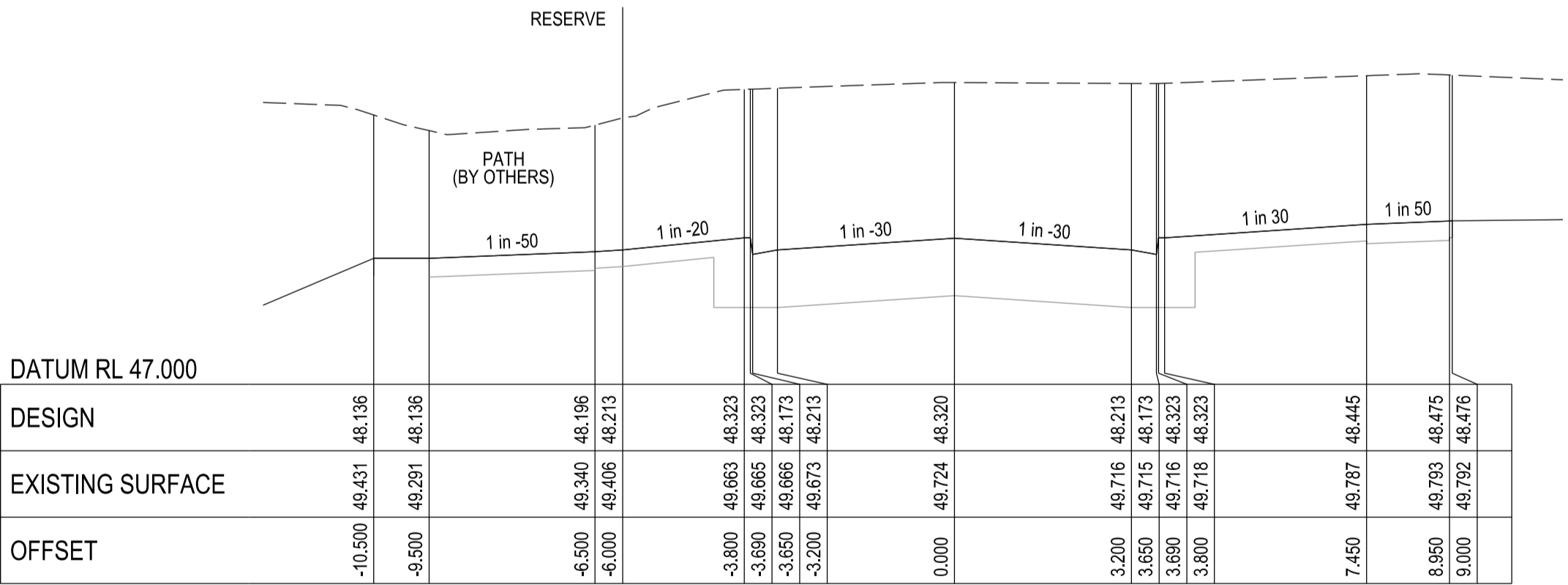
CHAINAGE 173.905



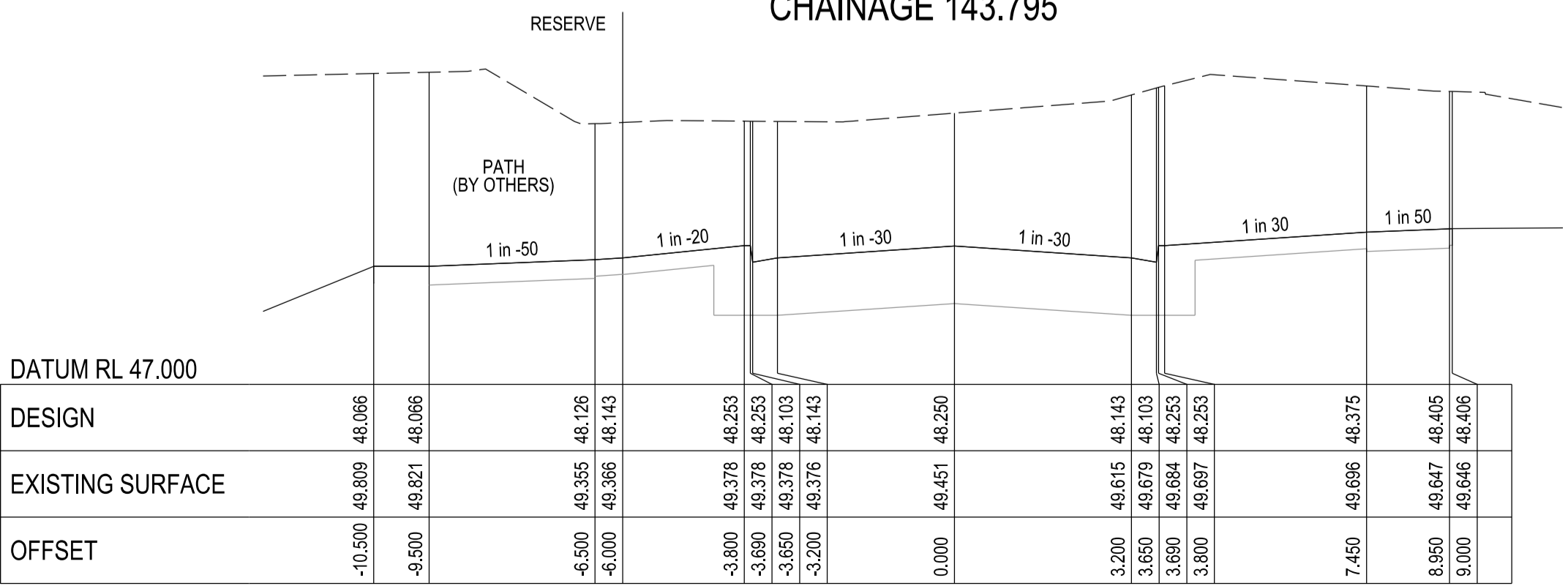
CHAINAGE 166.699



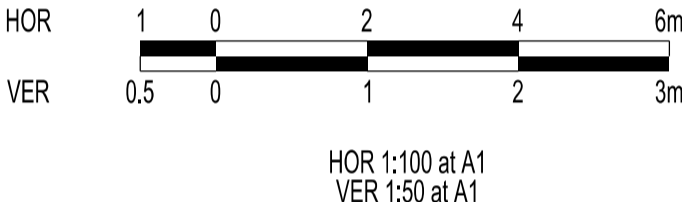
CHAINAGE 159.795




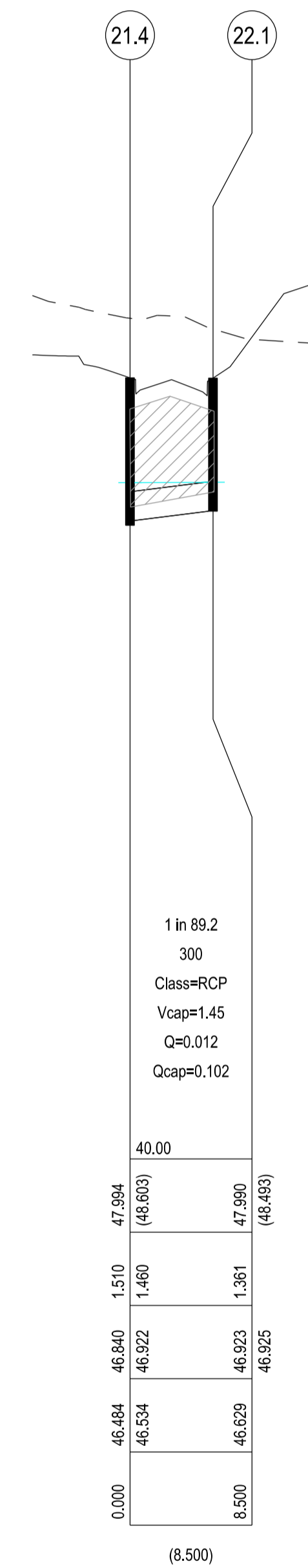
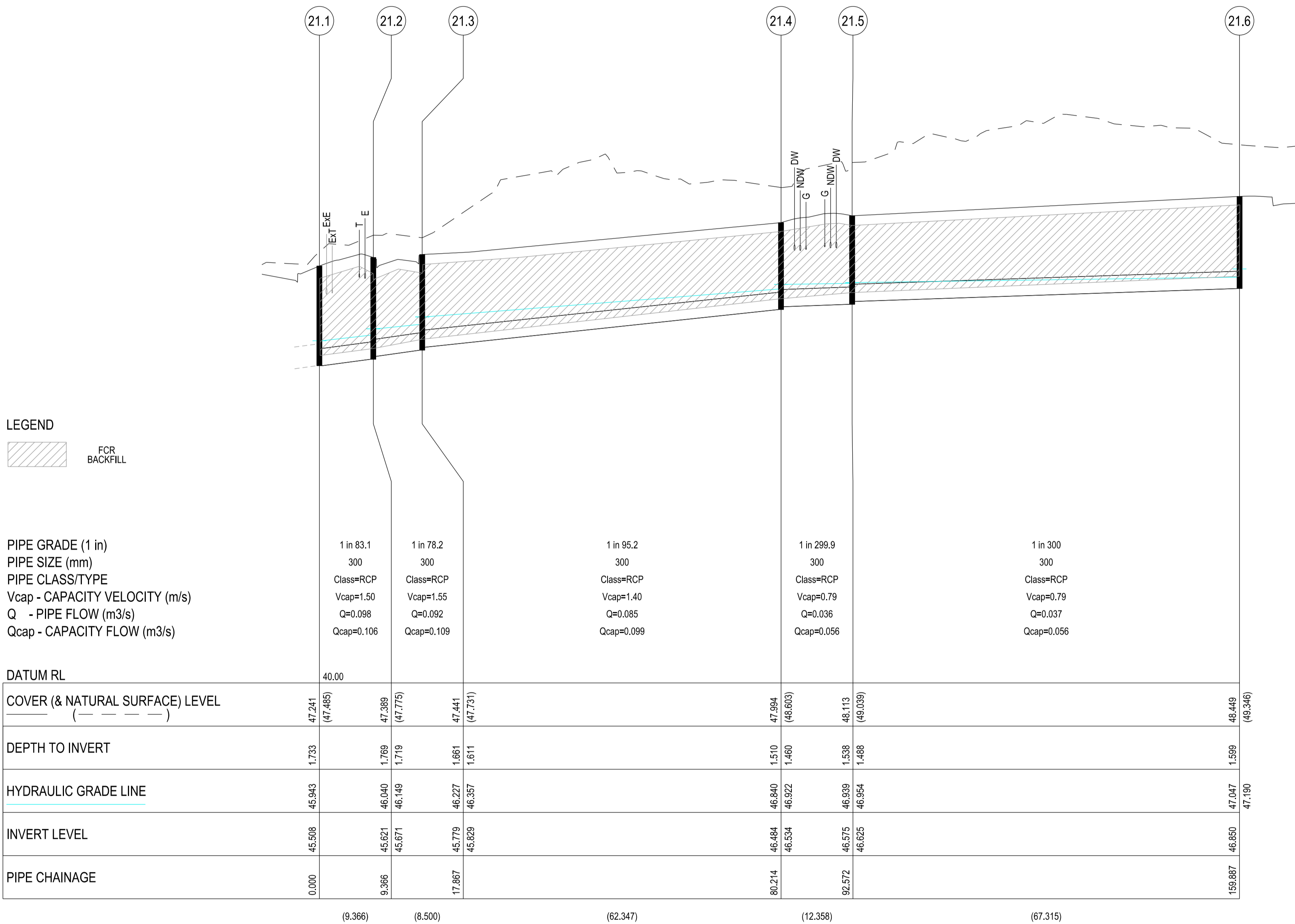
CHAINAGE 143.795



CHAINAGE 129.795



VERSION DETAILS:			
REV	DATE	DESCRIPTION	STATUS
-	1/12/20	-	PRELIMINARY
A	9/12/20	COUNCIL SUBMISSION	PRELIMINARY
B	20/1/21	COUNCIL COMMENTS 19/1/21	APPROVED
C	17/3/21	SEWER AMENDMENTS	APPROVED
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DRAWN:	M.LERNER	DATE: 1/12/2020	SCALE: AS SHOWN
DESIGNED:	M.LERNER	DATE: 6/11/2020	DATE PRINTED: 17/03/2021
AUTHORISED:	T.SMITH	DATE: 1/12/2020	
<div><div><b>CHARLTON DEGG</b> LAND DEVELOPMENT CONSULTANTS</div></div> <p>SUITE 1, LEVEL 1, 84 MT ELIZA WAY, MT ELIZA VIC 3930 <a href="http://www.charltondegg.com.au">www.charltondegg.com.au</a></p>			
COUNCIL: CITY OF CASEY			
TITLE: JUNCTION VILLAGE PTY LTD THE JUNCTION- STAGE 3 45 CRAIG ROAD, JUNCTION VILLAGE			
CORAL VINE ROAD CROSS SECTIONS 1			
DRG NO. 1432_3/R08		REV. C	SHEET 08 OF 11



STOP

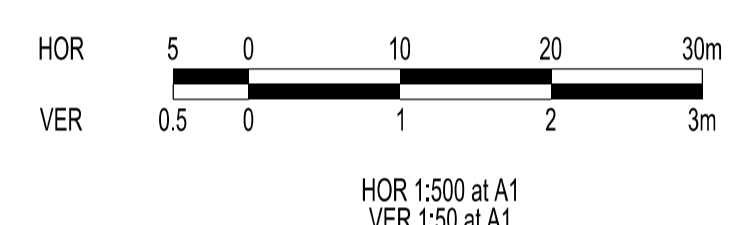
Major Cables exist in the area, if your activities are within Telstra encroachment distances (see duty of care) contact 03 9632 9961 at least 2 business days before starting activity.


WARNING

BEWARE OF UNDERGROUND SERVICES

THE LOCATIONS OF UNDERGROUND SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE SHOWN.

LOCATION OF WATER, GAS, ELECTRICITY AND TELECOMMUNICATION SERVICES ARE INDICATIVE ONLY



VERSION DETAILS:			
REV	DATE	DESCRIPTION	STATUS
-	1/12/20	-	PRELIMINARY
A	9/12/20	COUNCIL SUBMISSION	PRELIMINARY
B	20/1/21	COUNCIL COMMENTS 19/1/21	APPROVED
C	17/3/21	SEWER AMENDMENTS	APPROVED
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DESIGNED: M.LERNER		DATE: 6/11/2020	DATE PRINTED: 17/03/2021
AUTHORISED: T.SMITH		DATE: 1/12/2020	
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SUITE 1, LEVEL 1, 84 MT ELIZA WAY, MT ELIZA VIC 3930 www.charltondegg.com.au			
COUNCIL: CITY OF CASEY			
TITLE: JUNCTION VILLAGE PTY LTD THE JUNCTION- STAGE 3 45 CRAIG ROAD, JUNCTION VILLAGE  DRAINAGE LONGITUDINAL SECTIONS 1			
DRG NO. 1432_3/R09		REV. C	SHEET09 OF 11

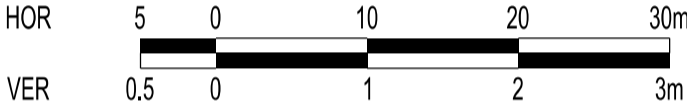


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HOR 1:500 at A1  
VER 1:50 at A1

PIT SCHEDULE

Pit				INTERNAL		INLET		OUTLET		PIT		
Name	TYPE	EASTING	NORTHING	WD	LEN	DIA	INV LEV	DIA	INV LEV	SETOUT RL	DEPTH	REMARKS
21.6	JP	50172.406	77249.111	600	900			300	46.85	48.449	1.599	EDCM605
21.5	GSEP	50105.628	77257.595	600	900	300	46.625	300	46.575	48.113	1.538	EDCM601
21.4	GSEP	50095.846	77250.042	600	900	300	46.534	300	46.484	47.994	1.51	EDCM601
						300	46.534			47.994	1.51	Line 22 entering
21.3	GSEP	50087.798	77188.217	600	900	300	45.829	300	45.779	47.441	1.661	EDCM601
21.2	GSEP	50079.366	77189.291	600	900	300	45.671	300	45.621	47.389	1.769	EDCM601
21.1	JP	50072.125	77183.349	600	900	300	45.508			47.241	1.733	EDCM605 Construct over existing pipe
22.1	GSEP	50087.414	77251.116	600	900			300	46.629	47.99	1.361	EDCM601
Ex20.2	GSEP	50100.733	77179.679					375	45.7	47.327	1.627	Existing Pit
Ex20.1	GSEP	50058.462	77185.182			375	45.344			46.984	1.64	Existing Pit

NOTES:

- xy setout to pit centre
- setout level to pit cover level
- Pits deeper than 2.5m require either gatic or locking terra firma or fibre glass type pit lids (City of Casey)
- Step Irons to be provided in all pits as per EDCM609
- Pit Remarks - EDCM (MPA Standard Drawings)
- Pit Remarks - SD (Vicroads Standard Drawings)
- Pit Remarks - MW (Melbourne Water Standard Drawings)
- Double Side Entry Pit (Vicroads) to be seperated by 1m pipe length

VERSION DETAILS:

REV	DATE	DESCRIPTION	STATUS
-	1/12/20	-	PRELIMINARY
A	9/12/20	COUNCIL SUBMISSION	PRELIMINARY
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C	17/3/21	SEWER AMENDMENTS	APPROVED

FILENAME: P:\1432\1432\_3\IE\2 - Design\6 - DGN\IR10.dgn

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DESIGNED:	M.LERNER	DATE:	6/11/2020	DATE PRINTED:	17/03/2021
AUTHORISED:	T.SMITH	DATE:	1/12/2020		



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LAND DEVELOPMENT CONSULTANTS

SUITE 1, LEVEL 1, 84 MT ELIZA WAY, MT ELIZA VIC 3930  
www.charltondegg.com.au

COUNCIL:  
CITY OF CASEY

TITLE:  
JUNCTION VILLAGE PTY LTD  
THE JUNCTION- STAGE 3  
45 CRAIG ROAD, JUNCTION VILLAGE

PIT SCHEDULE

DRG NO. 1432_3/R 10	REV. C	SHEET 10 OF 11
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SIGNAGE SCHEDULE

- #1

NAME RD.

STREET SIGN  
AS PER  
COUNCIL STD
- #2

GIVE  
WAY

R1-2
- #3

D4-5
- #4

ROAD  
CLOSED

G9-20

LEGEND

- FOOTPATH
- VEHICULAR CROSSOVER
- KERB AND CHANNEL
- E-T

ELECTRICITY TELECOMMUNICATION
- G-W

GAS DRINKING WATER NON DRINKING WATER
- E

ELECTRICITY MAIN
- T

TELECOMMUNICATION MAIN
- G

GAS MAIN
- DW

DRINKING WATER MAIN
- NDW

NON DRINKING WATER MAIN
- S

SEWER MAIN, MANHOLE AND MAINTENANCE SHAFT
- H

PROPOSED DRAINAGE, PIT, HOUSE DRAIN AND PROPERTY INLET
- FUT D

EXISTING DRAINAGE AND PIT AND FUTURE DRAINAGE AND PIT
- 0000

MELBOURNE WATER SCHEME DRAINAGE AND PIT (COUNCIL ASSET)
- 0000

MELBOURNE WATER SCHEME DRAINAGE AND PIT (MELBOURNE WATER ASSET)
- 0.00

DRAINAGE PIT NUMBER
- PROPOSED CUT AREAS
- PROPOSED FILL AREAS
- E00.00

EXISTING SURFACE LEVEL
- D00.00

DESIGN SURFACE LEVEL
- B00.00

TOP OF BATTER LEVEL
- PD00.00

PRE-DEVELOPMENT LEVEL
- #T

STREET NAME SIGN
- LOT SLOPE DIRECTION
- PERMANENT SURVEY MARK
- TEMPORARY BENCH MARK
- • • •

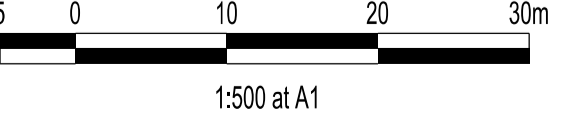
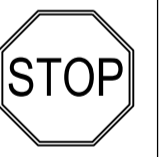
COUNCIL BOLLARDS
- • • •

BOLLARDS BY OTHERS

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VERSION DETAILS:

REV	DATE	DESCRIPTION	STATUS
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A	9/12/20	COUNCIL SUBMISSION	PRELIMINARY
B	20/1/21	COUNCIL COMMENTS 19/1/21	APPROVED
C	17/3/21	SEWER AMENDMENTS	APPROVED

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DRAWN:	M.LERNER	DATE:	1/12/2020	SCALE:	AS SHOWN
DESIGNED:	M.LERNER	DATE:	6/11/2020	DATE PRINTED:	17/03/2021
AUTHORISED:	T.SMITH	DATE:	1/12/2020		



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COUNCIL: CITY OF CASEY		
TITLE: JUNCTION VILLAGE PTY LTD THE JUNCTION- STAGE 3 45 CRAIG ROAD, JUNCTION VILLAGE SIGN AND LINEMARKING PLAN		
DRG NO. 1432_3/R11	REV. C	SHEET 11 OF 11